

ADVANCE AUTO PARTS STORE 105349

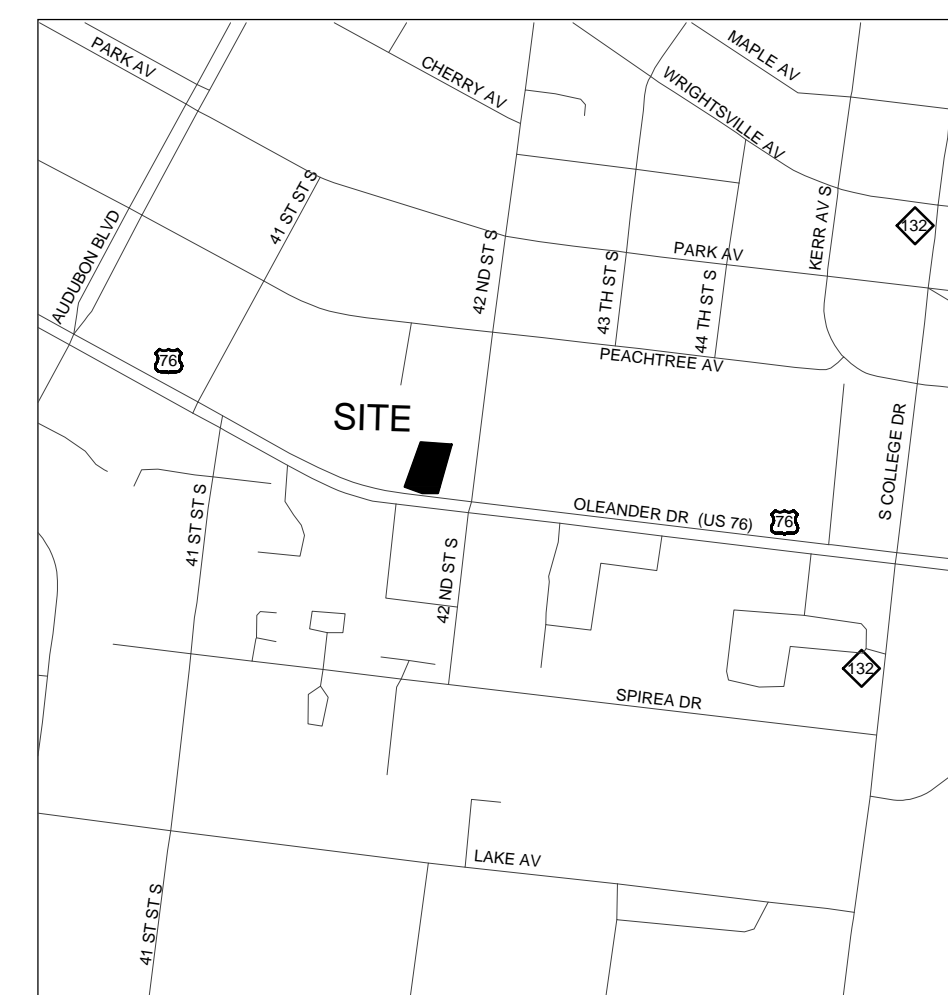
4121 OLEANDER DRIVE
WILMINGTON, NORTH CAROLINA

85% DESIGN DOCUMENTS

OCTOBER 2016

FOR

4121 OLEANDER DRIVE, LLC
1131-B Military Cutoff Road, Wilmington, NC 28405



VICINITY MAP
NOT TO SCALE

PROPERTY OWNER/DEVELOPER:

4121 OLEANDER DRIVE, LLC
1131-B MILITARY CUTOFF ROAD
WILMINGTON, NC 28405
ATTN: CLAUDE ARNOLD
PHONE: (910) 256-2211

LAND SURVEYOR, LANDSCAPE ARCHITECT & CIVIL ENGINEER:

PARAMOUNTE ENGINEERING, INC.
122 CINEMA DRIVE
WILMINGTON, NORTH CAROLINA 28403
ATTN: J. BRANCH SMITH, PE
PHONE: (910) 791-6707

NOTICE REQUIRED

ALL EXISTING UNDERGROUND UTILITIES SHALL BE PHYSICALLY LOCATED PRIOR TO THE BEGINNING OF ANY CONSTRUCTION IN THE VICINITY OF SAID UTILITIES.

CONTRACTORS SHALL NOTIFY OPERATORS WHO MAINTAIN UNDERGROUND UTILITY LINES IN THE AREA OF PROPOSED EXCAVATION AT LEAST TWO WORKING DAYS, BUT NOT MORE THAN TEN WORKING DAYS PRIOR TO COMMENCEMENT OF EXCAVATION OR DEMOLITION.

CONTRACTORS SHALL CONTACT OVERHEAD ELECTRIC PROVIDER TO COMPLY WITH FEDERAL OSHA 1910.333 MINIMUM APPROACH DISTANCE TO ENERGIZED POWERLINES AND OSH 29 CFR 1926.1407-1411 MUST BE FOLLOWED.

CONTACT THESE UTILITIES

CITY OF WILMINGTON PLANNING & DEVELOPMENT
ATTN: BRIAN CHAMBERS, PLANNER
PH: 910-342-2782

ATTN: ZONING INSPECTIONS
PH: 910-254-0900

PIEDMONT NATURAL GAS
ATTN: CATHY PLEASANT
PH: 910-251-2827

EMERGENCY DIAL 911
POLICE - FIRE - RESCUE

CAPE FEAR PUBLIC UTILITY AUTHORITY (WATER & SEWER)
ENGINEERING/INSPECTIONS
PH: 910-332-6560

OPERATIONS/MAINTENANCE
PH: 910-322-6550

DUKE ENERGY
DISTRIBUTION CONSTRUCTION SERVICE
BRIAN WEST
PH: 910-296-7223
DEP CSC PH: 1-800-452-2777

TRANSMISSION AGENT
BILL WILDER
PH: 910-772-4903

AT&T/BELL SOUTH
ATTN: JAMES BATSON, ENGINEERING
PH: 910-341-1621

TIME WARNER CABLE
PH: 910-763-4638

SHEET INDEX	
SHEET NUMBER	SHEET TITLE
	COVER SHEET
C-1.0	GENERAL NOTES
C-2.0	SITE INVENTORY (DEMOLITION) PLAN
C-2.1	SITE AND UTILITY PLAN
C-3.0	GRADING AND DRAINAGE PLAN
C-4.0	DETAILS
L-1.0	LANDSCAPE PLAN



Know what's below.
Call before you dig.

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

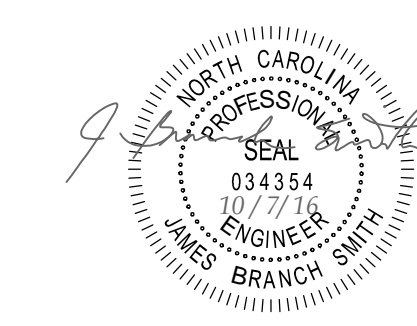
CITY OF WILMINGTON
NORTH CAROLINA
Public Services • Engineering Division
APPROVED DRAINAGE PLAN

Date: _____ Permit #: _____
Signed: _____

Approved Construction Plan

Name _____ Date _____

Planning _____
Traffic _____
Fire _____



PARAMOUNTE
ENGINEERING, INC.

122 Cinema Drive
Wilmington, North Carolina 28403
(910) 791-6707 (O) (910) 791-6760 (F)
NC License #: C-2846
PROJECT # 15332.PE

COORDINATION NOTES:

- 1. THE CONTRACTOR IS REQUIRED TO OBTAIN ANY/ALL PERMITS REQUIRED FOR CONSTRUCTION OF THESE PLANS.
2. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH PERMITS ISSUED AND WITH THE CITY OF WILMINGTON, NEW HANOVER COUNTY, CAPE FEAR PUBLIC UTILITY AUTHORITY (CPFAU), AND THE STATE OF NORTH CAROLINA.
3. THE CONTRACTOR IS TO ESTABLISH AND CHECK ALL HORIZONTAL AND VERTICAL CONTROLS TO BE USED WITH THE PROJECT.
4. ANYTIME WORK IS PERFORMED OFF-SITE OR WITHIN AN EXISTING EASEMENT, THE CONTRACTOR IS TO NOTIFY THE HOLDER OF SAID EASEMENT AS TO THE NATURE OF PROPOSED WORK...

GENERAL NOTES:

- 1. TREE INVENTORY, BOUNDARY, AND TOPOGRAPHIC SURVEY COMPLETED BY PARAMOUNT ENGINEERING, INC. THE SURVEY SHALL BE FIELD VERIFIED BY CONTRACTOR AND ANY DISCREPANCIES REPORTED TO THE OWNER AND ENGINEER.
2. REASONABLE CARE HAS BEEN EXERCISED IN SHOWING THE LOCATION OF EXISTING UTILITIES ON THE PLANS. THE EXACT LOCATION OF ALL EXISTING UTILITIES IS NOT KNOWN IN ALL CASES.
3. CONTRACTOR SHALL COMPLY WITH THE LATEST REVISIONS AND INTERPRETATIONS OF THE DEPARTMENT OF LABOR SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION PROMULGATED UNDER THE OCCUPATIONAL SAFETY AND HEALTH ACT.
4. CONTRACTOR SHALL PLAN AND CONSTRUCT WORK SO AS TO CAUSE MINIMUM INCONVENIENCE TO THE OWNER AND THE PUBLIC...

GENERAL EROSION AND SEDIMENT CONTROL NOTES:

- 1. THIS PROPERTY IS NOT SUBJECT TO THE NC SEDIMENTATION CONTROL ACT IN REGARDS TO OBTAINING AN EROSION CONTROL PERMIT SINCE THE LAND DISTURBANCE IS UNDER 1.0 ACRE.
2. ALL AREAS DISTURBED BY CONSTRUCTION UNLESS OTHERWISE IMPROVED SHALL BE SODED OR SEEDED AS INDICATED AND STABILIZED.
3. DURING DEWATERING OPERATIONS, WATER SHALL BE PUMPED INTO AN APPROVED FILTERING DEVICE PRIOR TO DISCHARGE TO RECEIVING OUTLET.
DEMOLITION NOTES:
1. CONTRACTOR TO COORDINATE WITH THE OWNER TO PROPERLY MAINTAIN OR RELOCATE EXISTING SERVICE CONNECTIONS WHEN NECESSARY.

- 2. CONTRACTOR IS TO WALK THE SITE AND BECOME FAMILIAR WITH THE SCOPE OF DEMOLITION REQUIRED.
3. DEMOLITION SHALL INCLUDE BUT IS NOT LIMITED TO THE EXCAVATION, HAULING AND OFFSITE DISPOSAL OF CONCRETE PADS, CONCRETE DITCHES, FOUNDATIONS, SLABS, STEPS, AND STRUCTURES.
4. THE CONTRACTOR SHALL PROTECT ALL ADJACENT PROPERTY, STRUCTURES AND UTILITIES ON THE PROPERTY NOT TO BE DEMOLISHED.
5. ELECTRIC, TELEPHONE, SANITARY SEWER, WATER AND STORM SEWER UTILITIES THAT SERVICE OFF-SITE PROPERTIES SHALL BE MAINTAINED DURING THE CONSTRUCTION PROCESS BY THE CONTRACTOR.

TRAFFIC NOTES:

- 1. ALL PAVEMENT MARKINGS IN PUBLIC RIGHTS-OF-WAY & FOR DRIVEWAY(S) ARE TO BE THERMOPLASTIC & MEET CITY OF WILMINGTON AND/OR NCDOT STANDARDS.
2. TRAFFIC CONTROL DEVICES (INCLUDING SIGNS AND PAVEMENT MARKINGS) IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES) STANDARDS.
3. ALL TRAFFIC CONTROL SIGNS AND MARKINGS NOT WITHIN THE PUBLIC RIGHT-OF-WAY ARE TO BE MAINTAINED BY THE PROPERTY OWNER IN ACCORDANCE WITH MUTCD STANDARDS.
4. ALL PARKING STALL MARKINGS AND LANE ARROWS WITHIN THE PARKING AREAS SHALL BE WHITE.

UTILITY NOTES: (N.C.A.C. 15A-02T.0305 / 115A 18C 0906)

- 1. WATER MAINS SHALL BE LAID SO AS TO PROVIDE A MINIMUM HORIZONTAL SEPARATION OF 10 FEET FROM SEWERS.
2. WHEN CROSSING A WATER MAIN OVER A SEWER, THE WATER MAIN SHALL BE LAID AT LEAST 18 INCHES ABOVE THE SEWER.
3. CROSSING A WATER MAIN UNDER A SEWER, WHENEVER IT IS NECESSARY FOR A WATER MAIN TO CROSS UNDER A SEWER, BOTH THE WATER MAIN AND THE SEWER SHALL BE CONSTRUCTED OF FERROUS MATERIALS AND WITH JOINTS EQUIVALENT TO WATER MAIN STANDARDS FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE POINT OF CROSSING.
4. WHERE VERTICAL CLEARANCE IS LESS THAN 24" BETWEEN SANITARY SEWER AND STORM DRAIN, SANITARY SEWER SHALL BE DUCTILE IRON PIPE FOR A MINIMUM OF 10' EITHER SIDE OF CROSSING AND STORM DRAIN SHALL BE RC PIPE.

FIRE & LIFE SAFETY NOTES:

- 1. NEW HYDRANTS MUST BE AVAILABLE FOR USE PRIOR TO CONSTRUCTION OF THE BUILDINGS WITHIN ANY DEVELOPMENT.
2. HYDRANTS MUST BE LOCATED WITHIN 8' OF THE CURB.
3. CONTRACTOR SHALL MAINTAIN AN ALL WEATHER ACCESS FOR EMERGENCY VEHICLES AT ALL TIMES DURING CONSTRUCTION.
4. A MINIMUM OF 4" SHALL SEPARATE UNDERGROUND FIRE LINES OR PRIVATE WATER MAINS FROM OTHER UNDERGROUND UTILITIES.
5. UNDERGROUND FIRE LINE & PRIVATE WATER MAINS MUST BE PERMITTED & INSPECTED BY NEW HANOVER COUNTY FIRE SERVICES FROM THE PUBLIC RIGHT-OF-WAY TO THE BUILDING(S).
6. ANY FDC MUST BE WITHIN 150' OF A FIRE HYDRANT & WITHIN 40' OF FIRE APPARATUS PLACEMENT.
7. LANDSCAPING OR PARKING CAN NOT BLOCK OR IMPEDE THE FDC OR FIRE HYDRANTS. A 3'-FOOT (3') CLEAR SPACE SHALL BE MAINTAINED AROUND THE CIRCUMFERENCE OF HYDRANTS AND FDC.

EROSION CONTROL AND SEQUENCE OF CONSTRUCTION NOTES:

- NOTE: THESE EROSION CONTROL AND SEQUENCE OF CONSTRUCTION NOTES ARE INTENDED FOR EACH "PHASE" OF CONSTRUCTION. THE ORDER AND STEPS TAKEN MUST BE IMPLEMENTED AS EACH PART OF THE PROJECT IS DEVELOPED.
1. CONSTRUCT TEMPORARY GRAVEL CONSTRUCTION ENTRANCES(S), ESTABLISH THE LIMITS OF DISTURBANCE, TREE PROTECTION FENCING, AND TEMPORARY SILT FENCE.
2. CLEAR AND REMOVE FROM SITE TREES AS DESIGNATED, ROOTS, ROOT MAT, ETC. FROM THE AREA WITHIN THE DESIGNATED CLEARING LIMITS.
3. CONSTRUCT TEMPORARY SEDIMENT BASIN(S) AND ASSOCIATED SKIMMER, OUTLET PIPE, SPILLWAY, ETC.
4. INSTALL REMAINING EROSION CONTROL MEASURES AS SHOWN ON THE PLANS WITHIN THE AREA DISTURBED. ALL EROSION CONTROL MEASURES MUST BE INSTALLED BEFORE COMMENCING CONSTRUCTION.

EROSION CONTROL MAINTENANCE PLAN:

- 1. ALL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE CHECKED FOR STABILITY AND OPERATION FOLLOWING EVERY RUNOFF.
2. ALL CONSTRUCTION ENTRANCES WILL BE PERIODICALLY TOP DRESSED WITH AN ADDITIONAL 2 INCHES OF #4 STONE TO MAINTAIN PROPER DEPTH.
3. SEDIMENT WILL BE REMOVED BEHIND THE SEDIMENT FENCE WHEN IT BECOMES HALF-FILLED AT THE FENCE.
4. ALL SEEDED AREAS WILL BE FERTILIZED, RESEEDDED AS NECESSARY, AND MULCHED ACCORDING TO SPECIFICATIONS ON THESE PLANS AND CONTRACT SPECIFICATIONS TO MAINTAIN A VIGOROUS, DENSE VEGETATIVE COVER.
5. INLET PROTECTION - INSPECT INLETS AT LEAST WEEKLY AND AFTER EACH SIGNIFICANT (1/2 INCH OR GREATER) RAINFALL EVENT.
6. SEDIMENT BASIN/SEDIMENT TRAPS - REMOVE SEDIMENT AND RESTORE THE BASIN TO ITS ORIGINAL DIMENSIONS WHEN IT ACCUMULATES TO WITHIN ONE HALF OF THE DESIGN DEPTH.
7. SKIMMER - INSPECT SKIMMER AT LEAST ONCE A WEEK AND AFTER EACH RAINFALL TO MAKE SURE THAT THE INTAKE MECHANISM, ORIFICE, OR DISCHARGE PIPE IS NOT CLOGGED WITH TRASH OR SEDIMENT.

PERMANENT SEEDING

Table with 4 columns: GRASS TYPE, LBS/ ACRE, TIME OF SEEDING, FERTILIZER LIMESTONE. Rows include Bermuda, Hulled, Centipede, Tall Fescue, and Slopes >= 2:1 Centipede/Seicea Lespedeza.

TEMPORARY SEEDING

Table with 4 columns: GRASS TYPE, LBS/ ACRE, TIME OF SEEDING, FERTILIZER LIMESTONE. Rows include Rye Grain, Sweet Sudan Grass, German or Browntop Millet, and Straw Mulch.

STABILIZATION TIME FRAMES:

IN THE EVENT THAT THE GOVERNING AGENCIES TIMEFRAME FOR STABILIZATION VARY, CONTRACTOR SHALL MEET THE MORE STRINGENT REQUIREMENT. NEW HANOVER COUNTY LAND QUALITY STABILIZATION TIME FRAME NOTE: DENUIDED AREAS MUST BE STABILIZED WITH FIFTEEN (15) WORKING DAYS OF CEASE OF ANY PHASE OF ACTIVITY...

NPDES WATER QUALITY STABILIZATION TIME FRAMES

Table with 3 columns: SITE AREA DESCRIPTION, STABILIZATION TIMEFRAME, EXCEPTIONS. Rows include Perimeter Dikes, High Quality Water (HQW) Zones, Slopes Steeper than 3:1, Slopes 3:1 or Flatter, and All Other Areas.

NC ACCESSIBILITY NOTES:

- NOTE: SPECIAL ATTENTION SHALL BE GIVEN TO COMPLIANCE WITH AMERICANS WITH DISABILITIES ACT (2010 ADA STANDARDS), THE NORTH CAROLINA BUILDING CODE/ANSI A117.1, AND APPLICABLE LOCAL LAWS & REGULATIONS.
1. IT IS ESSENTIAL THAT CONTRACTORS ARE AWARE OF THE SITE ACCESSIBILITY REQUIREMENTS.
2. THE CONTRACTOR SHALL NOTIFY PARAMOUNT ENGINEERING IMMEDIATELY OF ANY CONFLICT BETWEEN THESE NOTES AND DETAILS AND OTHER PROJECT DRAWINGS.
3. THESE ACCESSIBILITY NOTES AND DETAILS ARE INTENDED TO DEPICT SLOPE AND DIMENSIONAL REQUIREMENTS ONLY.
ACCESSIBILITY ROUTE NOTES:
1. AT LEAST ONE ACCESSIBLE ROUTE SHALL BE PROVIDED WITHIN THE SITE FROM ACCESSIBLE PARKING SPACES AND ACCESSIBLE PASSENGER LOADING ZONES.

ACCESSIBILITY ROUTE NOTES:

- 1. AT LEAST ONE ACCESSIBLE ROUTE SHALL BE PROVIDED WITHIN THE SITE FROM ACCESSIBLE PARKING SPACES AND ACCESSIBLE PASSENGER LOADING ZONES.
2. AT LEAST ONE ACCESSIBLE ROUTE SHALL CONNECT ACCESSIBLE BUILDINGS, ACCESSIBLE FACILITIES, ACCESSIBLE ELEMENTS, AND ACCESSIBLE SPACES THAT ARE ON THE SAME SITE.
3. WALKING SURFACES THAT ARE PART OF AN ACCESSIBLE ROUTE SHALL HAVE A MAXIMUM RUNNING SLOPE OF 5.0% AND A MAXIMUM CROSS SLOPE OF 2.0%.
4. ANY WALKING SURFACE THAT IS PART OF AN ACCESSIBLE ROUTE WITH A RUNNING SLOPE GREATER THAN 5.0% IS A RAMP AND SHALL COMPLY WITH THE GUIDELINES FOR RAMPS OR CURB RAMPS.
5. TRANSITIONS BETWEEN RAMPS, WALKS, LANDINGS, GUTTERS OR STREETS SHALL BE FLUSH/DRAIN FREE OF ABRUPT VERTICAL CHANGES.
6. FLOOR SURFACES SHALL BE STABLE, FIRM AND SLIP RESISTANT.
7. THE MINIMUM CLEAR WIDTH OF EXTERIOR ACCESSIBLE ROUTES SHALL BE FORTY-EIGHT (48) INCHES MINIMUM MEASURED BETWEEN HANDRAILS WHERE HANDRAILS ARE PROVIDED.
8. WHERE AN ACCESSIBLE ROUTE MAKES A 180 DEGREE TURN AROUND AN OBJECT THAT IS LESS THAN FORTY-EIGHT (48) INCHES IN WIDTH, CLEAR WIDTH SHALL BE FORTY-TWO (42) INCHES MINIMUM APPROXIMATING THE TURN.

RAMP NOTES:

- 1. ANY PART OF AN ACCESSIBLE ROUTE WITH A RUNNING SLOPE GREATER THAN 5% SHALL BE CONSIDERED A RAMP.
2. THE MAXIMUM RUNNING SLOPE FOR A RAMP SHALL BE 8.33% AND THE MAXIMUM CROSS SLOPE SHALL BE 2.0%.
3. THE CLEAR WIDTH OF AN EXTERIOR RAMP RUN SHALL BE FORTY EIGHT INCHES (NC BUILDING CODE 1104.1).
4. THE RISE FOR ANY RAMP RUN SHALL BE THIRTY (30) INCHES MAXIMUM.
5. LANDINGS SHALL BE PROVIDED AT THE TOP AND BOTTOM OF RAMPS.
6. RAMP RUNS WITH A RISE GREATER THAN SIX (6) INCHES SHALL HAVE HANDRAILS ON BOTH SIDES COMPLYING WITH THE AMERICANS WITH DISABILITIES ACT (2010 ADA STANDARDS).
7. FLOOR SURFACES OF RAMPS AND LANDINGS SHALL BE STABLE, FIRM AND SLIP RESISTANT.
8. EDGE PROTECTION COMPLYING WITH AMERICANS WITH DISABILITIES ACT (2010 ADA STANDARDS), THE NC BUILDING CODE/ANSI A117.1, AND APPLICABLE LOCAL LAWS & REGULATIONS SHALL BE PROVIDED ON EACH SIDE OF RAMP RUNS AND ON EACH SIDE OF RAMP LANDINGS.

CURB RAMP NOTES:

- 1. THE MAXIMUM RUNNING SLOPE OF A CURB RAMP SHALL BE 8.33% AND THE MAXIMUM CROSS SLOPE SHALL BE 2.0%.
2. COUNTER SLOPES OF ADJOINING GUTTERS AND ROAD SURFACES IMMEDIATELY ADJACENT TO THE CURB RAMP SHALL NOT BE STEEPER THAN 5%.
3. THE CLEAR WIDTH OF A CURB RAMP SHALL BE 36 INCHES (36) MINIMUM, EXCLUSIVE OF FLARED SIDES, IF PROVIDED.
4. LANDINGS SHALL BE PROVIDED AT THE TOP OF CURB RAMPS.
5. IF A CURB RAMP IS LOCATED WHERE PEDESTRIANS MUST WALK ACROSS THE RAMP, OR WHERE IT IS NOT PROTECTED BY HANDRAILS OR GUARDRAILS, IT SHALL HAVE FLARED SIDES.
6. WHERE PROVIDED, CURB RAMP FLARES SHALL NOT EXCEED 10%.
7. CURB RAMPS AND THE FLARED SIDES OF CURB RAMPS SHALL BE LOCATED SO THAT THEY DO NOT PROJECT INTO VEHICULAR TRAFFIC LANES, PARKING SPACES OR PARKING ACCESS AISLES.
8. CURB RAMPS SHALL BE LOCATED OR PROTECTED TO PREVENT THEIR OBSTRUCTION BY PARKED VEHICLES.
9. IT IS RECOMMENDED TO PROVIDE CURB RAMPS WITH A TWENTY-FOUR (24) INCH DEEP DETECTABLE WARNING COMPLYING WITH 406.12.117.1, EXTENDING THE FULL WIDTH OF THE RAMP.
10. FLOOR SURFACES OF CURB RAMPS SHALL BE DEEP GROOVED, 1/2 INCH WIDE BY 1/4 INCH DEEP, ONE (1) INCH CENTERS TRANSVERSE TO THE RAMP.
11. WHERE PROVIDED, STOP LINES SHALL BE LOCATED IN ADVANCE OF CURB RAMP.
12. WHERE PROVIDED, PEDESTRIAN ACTIVATED SIGNALS SHALL BE LOCATED ADJACENT TO THE SIDEWALK AND NOT ON THE SIDEWALK.
13. WHERE PROVIDED, DRAINAGE INLETS SHALL BE LOCATED UPSTREAM OF CURB RAMPS AND NOT IN THE RAMP AREA.
14. CURB RAMP TYPE AND LOCATION ARE PER PLAN.

NC ACCESSIBILITY NOTES CONTD:

- PARKING SPACE NOTES:
1. ACCESSIBLE PARKING SPACES SHALL BE LOCATED ON THE SHORTEST ACCESSIBLE ROUTES OF TRAVEL FROM ADJACENT PARKING TO AN ACCESSIBLE BUILDING ENTRANCE.
2. ACCESSIBLE PARKING SPACES SHALL BE AT LEAST NINETY-SIX (96) INCHES WIDE. ACCESS AISLES SHALL BE 60 INCHES WIDE.
3. PARKING ACCESS AISLES SHALL BE PART OF AN ACCESSIBLE ROUTE TO THE BUILDING OR FACILITY ENTRANCE AND SHALL COMPLY WITH PROVISIONS FOR ACCESSIBLE ROUTES.
4. TWO (2) ACCESSIBLE PARKING SPACES MAY SHARE A COMMON ACCESS AISLE.
5. ACCESS AISLES SHALL EXTEND THE FULL LENGTH OF THE PARKING SPACE THEY SERVE.
6. ACCESS AISLES SHALL BE MARKED SO AS TO DISCOURAGE PARKING IN THEM.
7. ACCESS AISLES SHALL NOT OVERLAP THE VEHICULAR WAY.
8. FLOOR SURFACES OF PARKING SPACES AND ACCESS AISLES SERVING THEM SHALL BE STABLE, FIRM AND SLIP RESISTANT.
9. PARKING SPACES AND ACCESS AISLES SHALL BE LEVEL WITH SURFACE SLOPES NOT EXCEEDING 2.0% IN ALL DIRECTIONS.
10. PARKED VEHICLE OVERHANGS SHALL NOT REDUCE THE REQUIRED CLEAR WIDTH OF AN ACCESSIBLE ROUTE.
11. PARKING SPACES FOR VANS AND ACCESS AISLES AND VEHICULAR ROUTES SERVING THEM SHALL PROVIDE A VERTICAL CLEARANCE OF NINETY-EIGHT (98) INCHES MINIMUM.

PASSENGER LOADING ZONE NOTES:

- 1. PASSENGER LOADING ZONE SHALL PROVIDE VEHICULAR PULL-UP SPACE NINETY-SIX (96) INCHES WIDE MINIMUM AND TWENTY (20) FEET LONG MINIMUM.
2. PASSENGER LOADING ZONES SHALL PROVIDE A CLEARLY MARKED ACCESS AISLE THAT IS SIXTY (60) INCHES WIDE MINIMUM AND EXTENDS THE FULL LENGTH OF THE VEHICLE PULL-UP SPACE THEY SERVE.
3. ACCESS AISLE SHALL ADJOIN AN ACCESSIBLE ROUTE AND NOT OVERLAP THE VEHICULAR WAY.
4. VEHICLE PULL-UP SPACES AND ACCESS AISLES SERVING THEM SHALL BE LEVEL WITH SURFACE SLOPES NOT EXCEEDING 2.0% IN ALL DIRECTIONS.
5. FLOOR SURFACES OF VEHICLE PULL-UP SPACES AND ACCESS AISLES SERVING THEM SHALL BE STABLE, FIRM AND SLIP RESISTANT.
6. VEHICLE PULL-UP SPACES, ACCESS AISLES SERVING THEM AND A VEHICULAR ROUTE FROM AN ENTRANCE TO THE PASSENGER LOADING ZONE, AND FROM THE PASSENGER LOADING ZONE TO A VEHICULAR EXIT SERVING THEM, SHALL PROVIDE A VERTICAL CLEARANCE OF ONE HUNDRED FOURTEEN (114) INCHES MINIMUM.

ACCESSIBILITY ENTRANCE NOTES:

- 1. ACCESSIBLE ENTRANCES SHALL BE PROVIDED AS REQUIRED BY THE AMERICANS WITH DISABILITIES ACT (2010 ADA STANDARDS) AND THE NORTH CAROLINA BUILDING CODE, AND APPLICABLE LOCAL LAWS & REGULATIONS.
2. ENTRANCE DOORS, DOORWAYS AND GATES SHALL COMPLY WITH THE AMERICANS WITH DISABILITIES ACT (2010 ADA STANDARDS) THE NC BUILDING CODE/ANSI A117.1 AND SHALL BE ON AN ACCESSIBLE ROUTE.

GENERAL STORM SEWER NOTES:

- 1. ALL STORM SEWERS SHALL BE CONSTRUCTED AS SPECIFIED ON THE DRAWINGS AND IN THE PROJECT SPECIFICATIONS.
2. BEDDING FOR ALL STORM SEWER PIPE SHALL BE AS SPECIFIED ON THE DRAWINGS AND/OR SPECIFICATIONS.
3. ALL STORM SEWER PIPES SHOWN AS RCP ON THE PLANS SHALL BE REINFORCED CONCRETE PIPE CONFORMING TO ASTM C-76, UNLESS INDICATED OTHERWISE ON PLANS.

ROOF DRAIN NOTE:

- 1) PROPOSED BUILDING SHALL DIVERT ROOF DRAINAGE TO STORMWATER COLLECTION SYSTEM.

EXISTING UTILITY NOTES:

- 1. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO VERIFY THE ACTUAL LOCATION AND AVAILABILITY OF ALL EXISTING AND PROPOSED UTILITIES IN THE FIELD PRIOR TO GROUND BREAKING.
2. EXISTING UTILITIES AND STRUCTURES SHOWN, BOTH UNDERGROUND AND ABOVE GROUND, ARE BASED ON A FIELD SURVEY AND THE BEST AVAILABLE RECORD DRAWINGS.
3. THERE ARE NO WETLANDS FLAGGED AND SURVEYED ON THE PROPERTY.

WETLAND NOTES:

- 1) THERE ARE NO WETLANDS FLAGGED AND SURVEYED ON THE PROPERTY.

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

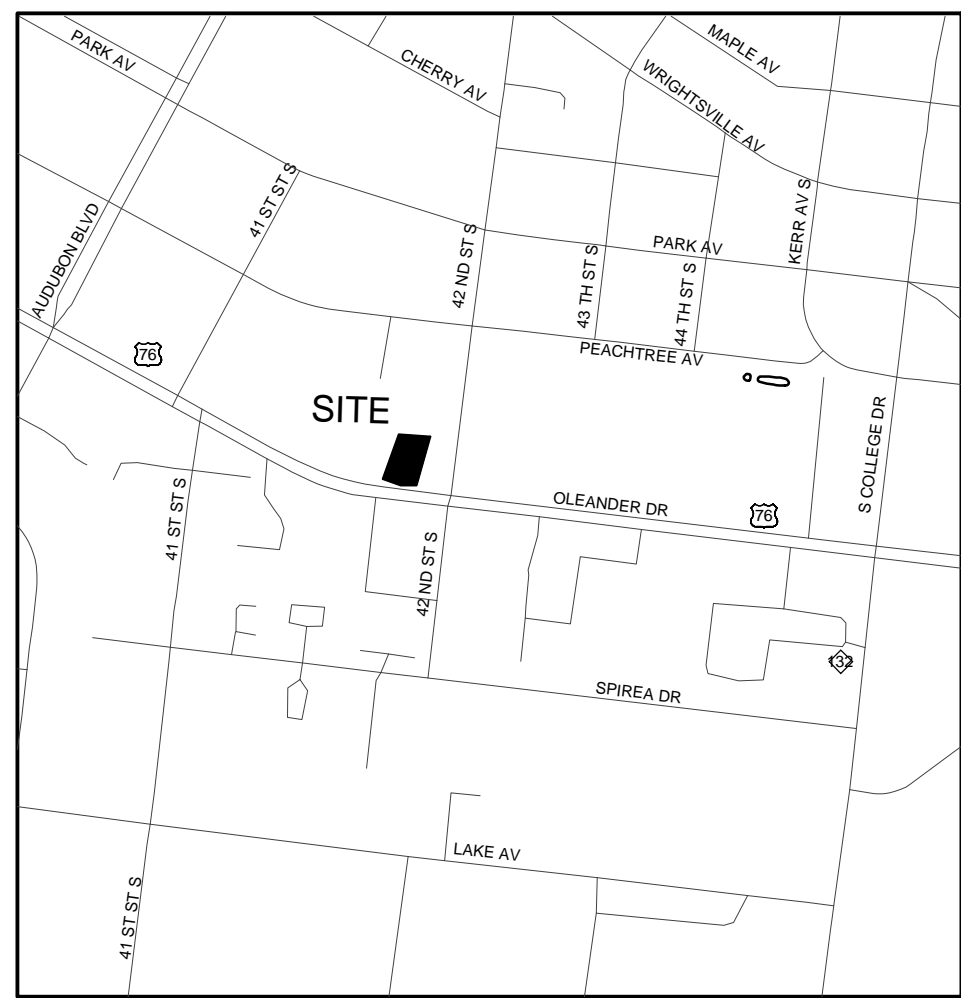
City of Wilmington logo and Public Services Engineering Division APPROVED DRAWING PLAN. Includes fields for Date and Permit #.

Approved Construction Plan form with fields for Name and Date.

Vertical sidebar containing: REVISIONS, CLIENT INFORMATION (4121 OLEANDER DRIVE, LLC), PROJECT STATUS (CONCEPTUAL LAYOUT), DRAWING INFORMATION (DATE, DESIGNED, DRAWN, CHECKED), GENERAL NOTES, PROJECT STATUS, DRAWING INFORMATION, SEAL, NORTH CAROLINA PROFESSIONAL ENGINEER, and PEI JOB# 15332.PE.



FINAL DESIGN - NOT RELEASED FOR CONSTRUCTION

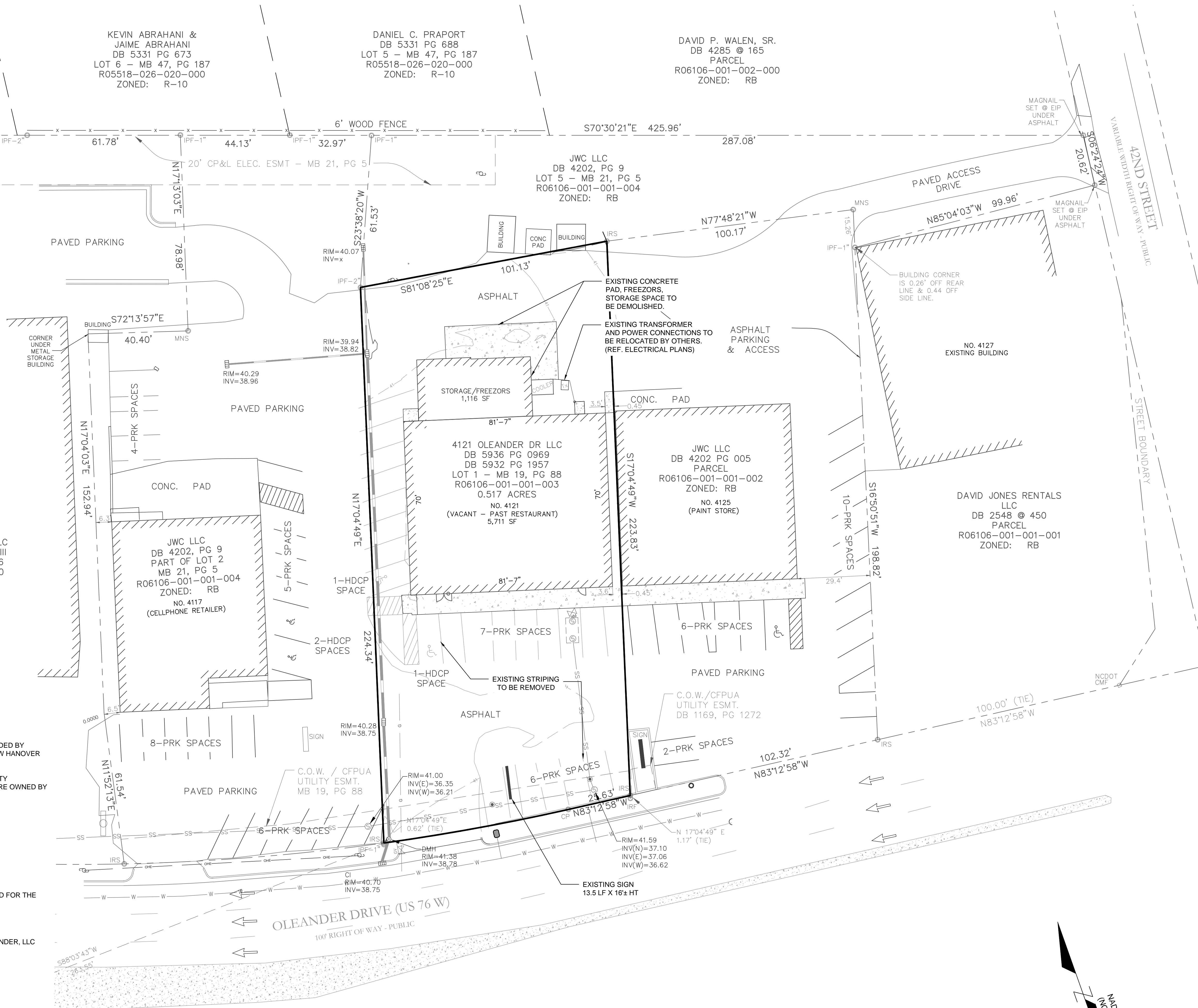


LOCATION MAP
NOT TO SCALE

LEGEND:

— OHE —	OVERHEAD ELECTRIC
— BOT —	BURIED TELEPHONE LINE
— G —	BURIED GAS LINE
— UTV —	BURIED TV CABLE
— FO —	BURIED FIBER OPTIC
— W — W — W —	WATER LINE
— SS — SS —	SANITARY SEWER LINE
— S — S — S —	STORM DRAINAGE LINE
— X — X — X —	FENCE (TYPE AS SPECIFIED)
— 18 —	EXISTING CONTOUR
— — — —	RIGHT OF WAY/BOUNDARY
— — — —	BOUNDARY LINE

ANDERSON SQUARE, LLC
CONDOMINIUM—PHASE III
CONDO BK 15, PG 186
R05518-026-015-000
ZONED: RB



SITE INVENTORY NOTES

1. SITE BOUNDARY, TREES, AND WETLAND INFORMATION TAKEN FROM SURVEY PROVIDED BY PARAMOUNT ENGINEERING, INC. ADJACENT PROPERTY LINES, ARE BASED ON NEW HANOVER COUNTY G.I.S. DATA AND ARE APPROXIMATE.
2. EXISTING WATER AND SEWER INFORMATION PROVIDED BY CAPE FEAR PUBLIC UTILITY AUTHORITY. LOCATIONS ARE CONCEPTUAL. EXISTING WATER AND SEWER LINES ARE OWNED BY CAPE FEAR PUBLIC UTILITY AUTHORITY.
3. NO TREES ARE ON THE PROPERTY.
4. SITE IS NOT LOCATED WITHIN A SPECIAL HIGHWAY OVERLAY DISTRICT.
5. SITE IS NOT LOCATED WITHIN A 100-YEAR FLOOD ZONE.
6. SITE IS NOT LOCATED WITHIN A CONSERVATION OVERLAY DISTRICT.
7. NO 404 WETLAND AREAS EXIST ON THE SITE.
8. PORTIONS OF ASPHALT, CONCRETE, AND CURBING WILL BE DEMOLISHED AS NEEDED FOR THE PROPOSED IMPROVEMENTS.

SITE ACCESS / PARKING NOTE:

A RECIPROCAL EASEMENT AGREEMENT (DB 5932, PG 1957) EXISTS BETWEEN 4121 OLEANDER, LLC AND J.W.C., LLC FOR ACCESS AND MAINTENANCE OF THE ADJOINING ASPHALT DRIVES.

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

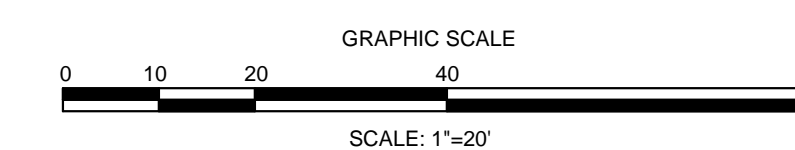
CITY OF WILMINGTON
NORTH CAROLINA
Public Services • Engineering Division
APPROVED DRAINAGE PLAN

Date: _____ Permit # _____
Signed: _____

Approved Construction Plan

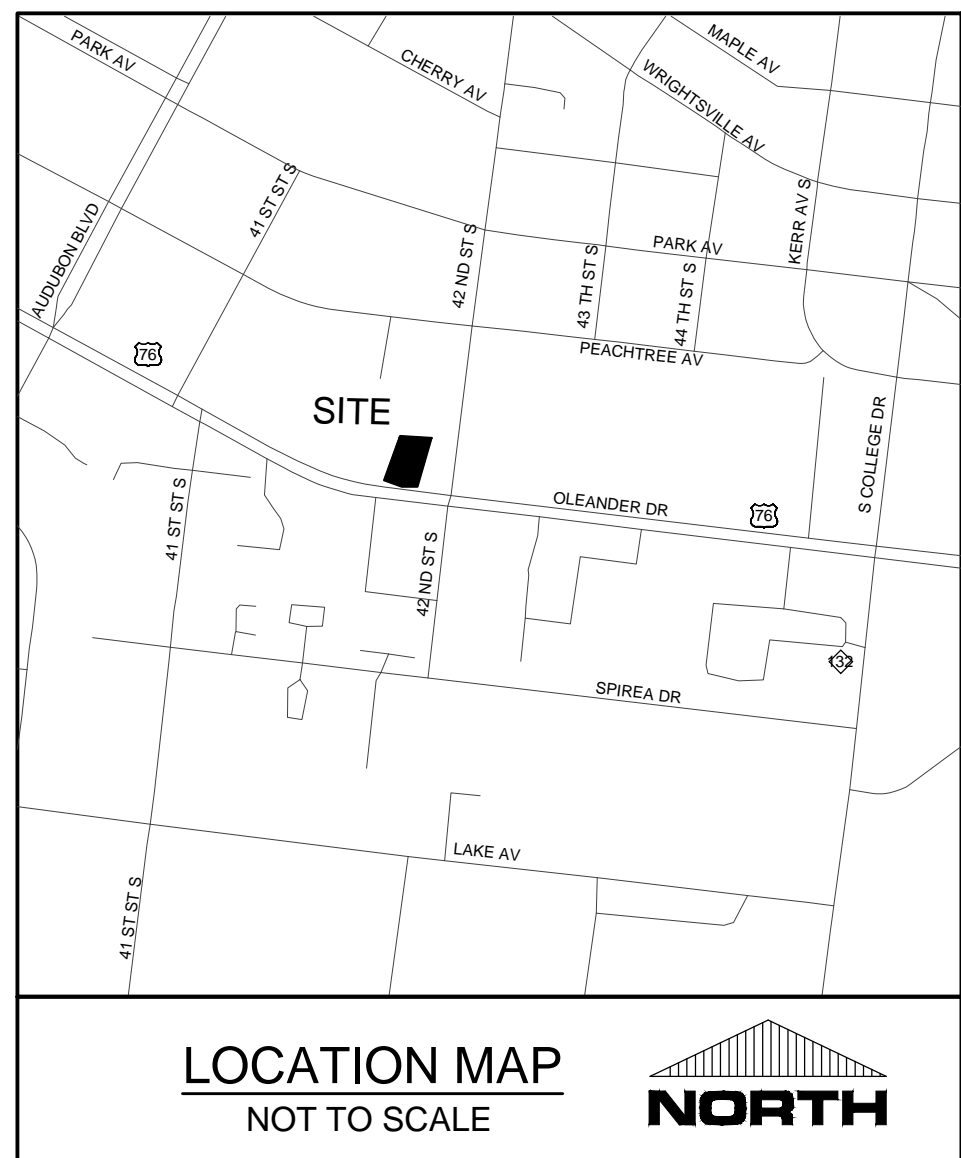
Name _____ Date _____

Planning _____
Traffic _____
Fire _____



FINAL DESIGN - NOT RELEASED FOR CONSTRUCTION

<p>REVISIONS:</p>	
<p>CLIENT INFORMATION:</p> <p>4121 OLEANDER DRIVE, LLC 1131-B MILITARY CUTOFF ROAD WILMINGTON, NC 28405</p>	
<p>PARAMOUNT ENGINEERING, INC. 122 Cinema Drive Wilmington, North Carolina 28403 (910) 791-6707 (O) (910) 791-6760 (F) NC License #: C-2846</p>	
<p>SITE INVENTORY PLAN (DEMOLITION PLAN) 4121 OLEANDER DRIVE CITY OF WILMINGTON NEW HANOVER COUNTY, NC</p>	
<p>PROJECT STATUS: CONCEPTUAL LAYOUT: PRELIMINARY LAYOUT: RELEASED FOR CONST.</p>	<p>DRAWING INFORMATION: DATE: 3/7/18 DESIGNED: RFB DRAWN: CLM CHECKED: RFB</p>
<p>SEAL NORTH CAROLINA PROFESSIONAL ENGINEER 034354 10/17/17 ENGINEER WILMINGTON BRANCH NOT SEPARATE</p>	
<p>C-2.0</p>	
<p>PEI JOB#: 15332.PE</p>	



SITE DATA
 PROJECT NAME: ADVANCE AUTO PARTS STORE #105349
 SITE ADDRESS: 4121 OLEANDER DRIVE, WILMINGTON, NC 28403
 NHC PIN: R06106-001-001-003
 PROPERTY OWNER: 4121 OLEANDER DRIVE, LLC
 SOURCE DEED: DEED BOOK 5932, PAGE 1957
 AREA: 22,509± SF OR 0.52± ACRES
 ZONING: RB (REGIONAL BUSINESS)
 PROPOSED USE: RETAIL (AUTO PARTS SALES)
 CAMA LAND USE: URBAN
 EXISTING EASEMENTS: UTILITY, ACCESS EASEMENTS

DIMENSION REQUIREMENTS

SETBACKS:	REQUIRED	PROVIDED
FRONT	25'	83.7' (EX.)
SIDE	0'	15.1' L / 3.5' R
REAR	15'	34.6'

MAXIMUM HEIGHT: 35' (REQUIRED) / 16'-2" (PROVIDED)

BUILDING INFORMATION
 EXISTING BUILDING: 6,827 SF (5,711 SF TO REMAIN)
 EXISTING BUILDING LOT COVERAGE: 30.3%
 PROPOSED EXPANSION: 1,793 SF (26.3% INCREASE)
 TOTAL BUILDING AREA PROPOSED: 7,504 SF
 PROPOSED BUILDING LOT COVERAGE: 33.3%
 CONSTRUCTION TYPE: TYPE II MIN. BLOCK WALLS

PARKING INFORMATION
 PARKING REQUIREMENTS (RETAIL):
 MINIMUM REQUIRED: 1 SPACE PER 400 SF = 18.8
 MAXIMUM ALLOWED: 1 SPACE PER 200 SF = 37.5
 PROVIDED: 21 SPACES
 HC ACCESSIBLE SPACES REQUIRED: 1 SPACES
 HC SPACES PROVIDED: 2 SPACES
 BICYCLE PARKING REQUIRED: 5 SPACES
 BICYCLE PARKING PROVIDED: 5 SPACES

IMPERVIOUS CALCULATIONS
 EXISTING BUILDING: 6,827 SF
 EXISTING PAVEMENT: 13,956 SF
 EXISTING CONCRETE: 2,088 SF
 EXISTING TOTAL: 22,871 SF
 PROPOSED BUILDING EXP.: 1,793 SF
 PROPOSED CURBING & WALKS: 590 SF
 PROPOSED TOTAL IMPERVIOUS: 2,383 SF << 2500 SF

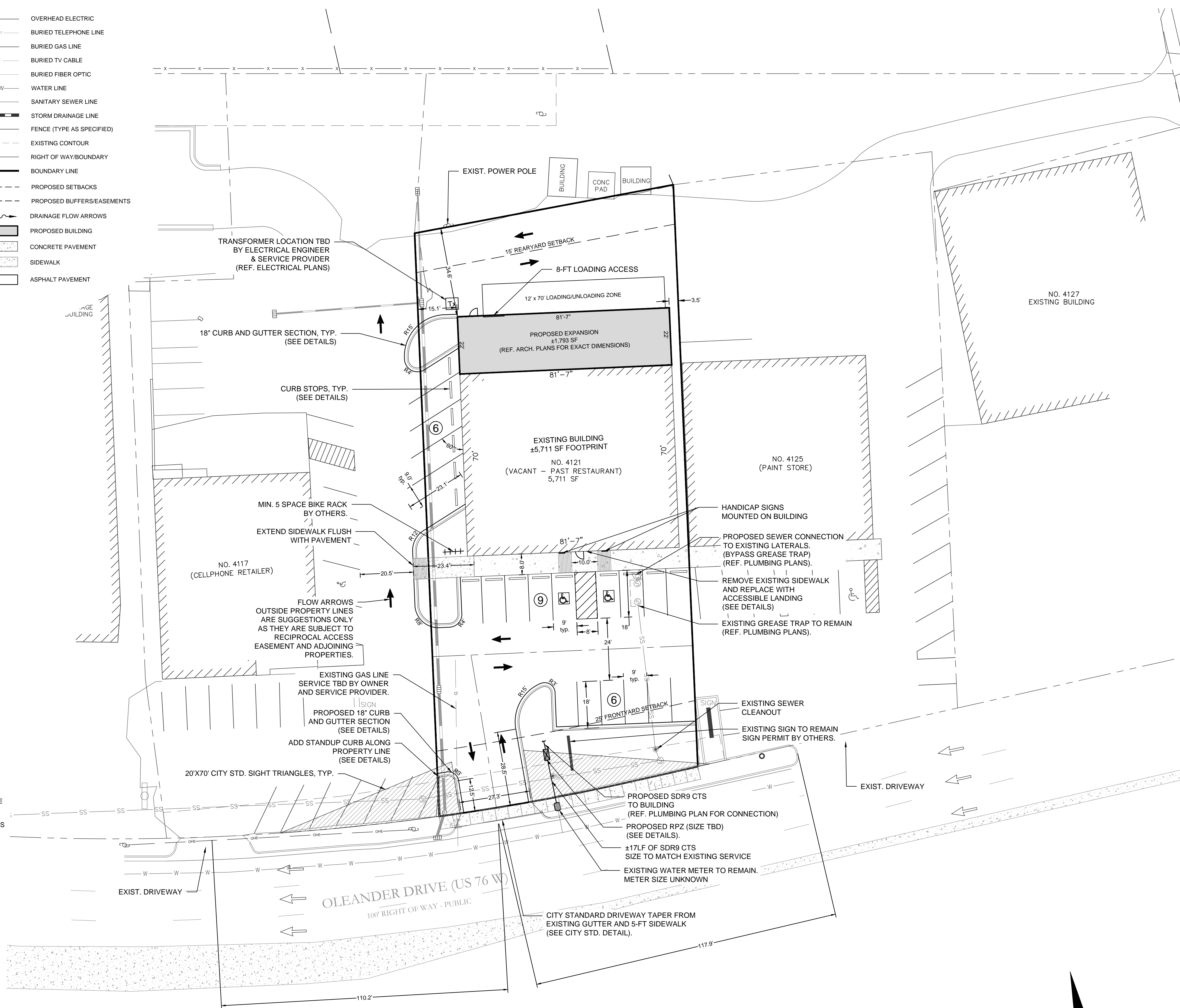
POST-DEVELOPED IMPERVIOUS TOTAL: 20,525 SF (NET -2,346 SF)

SITE INVENTORY NOTES

- SITE BOUNDARY, TREES, AND WETLAND INFORMATION TAKEN FROM SURVEY PROVIDED BY PARAMOUNT ENGINEERING, INC. ADJACENT PROPERTY LINES, ARE BASED ON NEW HANOVER COUNTY G.I.S. DATA AND ARE APPROXIMATE.
- EXISTING WATER AND SEWER INFORMATION PROVIDED BY CAPE FEAR PUBLIC UTILITY AUTHORITY. LOCATIONS ARE CONCEPTUAL. EXISTING WATER AND SEWER LINES ARE OWNED BY CAPE FEAR PUBLIC UTILITY AUTHORITY (CFPUA).
- NO TREES ARE ON THE PROPERTY.
- SITE IS NOT LOCATED WITHIN A SPECIAL HIGHWAY OVERLAY DISTRICT.
- SITE IS NOT LOCATED WITHIN A 100-YEAR FLOOD ZONE.
- SITE IS NOT LOCATED WITHIN A CONSERVATION OVERLAY DISTRICT.
- NO 404 WETLAND AREAS EXIST ON THE SITE.
- ALL UTILITIES TO REMAIN UNDERGROUND. GREASE TRAPS MAY NEED TO BE ABANDONED AND FILLED AND CLEANOUTS REROUTED. OVERHEAD POWER TO REMAIN. UTILITIES SHALL CONFORM TO CROSS-CONNECTION REGULATIONS OF THE CAPE FEAR PUBLIC UTILITY AUTHORITY (CFPUA).
- TRASH TO BE STORED IN ROLL-OUT CONTAINER(S) FROM STORE. SHARED DUMPSTER BETWEEN ADJOINING OWNERS IS NOT PLANNED AT THIS TIME.
- NEW BUILDING SIGNS WILL BE LOCATED AND APPROVED BY THE NEW HANOVER COUNTY PLANNING DEPARTMENT. SITE FREESTANDING SIGNS OR MODIFICATIONS TO BE APPROVED BY CITY OF WILMINGTON.
- TACTILE WARNING MATS WILL BE INSTALLED ON ALL WHEELCHAIR RAMPS.
- ALL PARKING STALL MARKINGS AND LANE ARROWS WITHIN PARKING AREA SHALL BE WHITE.
- NO EXISTING DRIVEWAYS ARE TO BE CLOSED UNLESS NCDOT PLANS SPECIFY OTHERWISE.
- HEATING/AIR EQUIPMENT IS LOCATED WITHIN THE BUILDING FOOTPRINT.
- CONTRACTOR SHALL MAINTAIN ALL-WEATHER ACCESS FOR EMERGENCY VEHICLES AT ALL TIMES DURING CONSTRUCTION.
- STOP SIGNS AND STREET SIGNS TO REMAIN IN PLACE DURING CONSTRUCTION.
- PROTECTIVE FENCING IS TO BE PROPERLY MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT.
- ANY GROUND LEVEL MECHANICAL EQUIPMENT TO BE SCREENED AS NECESSARY.
- NO OBSTRUCTIONS ARE PERMITTED IN THE SPACE BETWEEN 30-INCHES AND 10-FEET ABOVE THE GROUND WITHIN THE TRIANGULAR SITE DISTANCE.

LEGEND:

- OHE OVERHEAD ELECTRIC
- LOT BURIED TELEPHONE LINE
- G BURIED GAS LINE
- UTV BURIED TV CABLE
- FO BURIED FIBER OPTIC
- W-W-W WATER LINE
- SS-SS SANITARY SEWER LINE
- SS-SS STORM DRAINAGE LINE
- X-X-X FENCE (TYPE AS SPECIFIED)
- - - - - EXISTING CONTOUR
- - - - - RIGHT OF WAY/BOUNDARY
- - - - - BOUNDARY LINE
- - - - - PROPOSED SETBACKS
- - - - - PROPOSED BUFFERS/EASEMENTS
- - - - - DRAINAGE FLOW ARROWS
- PROPOSED BUILDING
- CONCRETE PAVEMENT
- SIDEWALK
- ASPHALT PAVEMENT



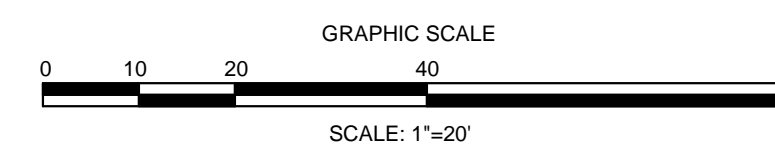
SITE NOTES

- BOLLARDS MAY BE USED BY THE OWNER AS NECESSARY BUT IN CONFORMANCE TO CITY OF WILMINGTON LAND DEVELOPMENT CODE.
- PAVEMENT STRIPING IS NOT SPECIFIED AS THERMOPLASTIC. OWNER MAY CHOSE ALTERNATIVE PAVEMENT STRIPING MATERIALS AND METHODS.

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

CITY OF WILMINGTON
 NORTH CAROLINA
 Public Services • Engineering Division
 APPROVED DRAINAGE PLAN
 Date: _____ Permit # _____
 Signed: _____

Approved Construction Plan
 Name _____ Date _____
 Planning _____
 Traffic _____
 Fire _____



FINAL DESIGN - NOT RELEASED FOR CONSTRUCTION

REVISIONS:

CLIENT INFORMATION:
 4121 OLEANDER DRIVE, LLC
 1131-B MILITARY CUTOFF ROAD
 WILMINGTON, NC 28405

PARAMOUNT ENGINEERING, INC.
 122 Cinema Drive
 Wilmington, North Carolina 28403
 (910) 791-0707 (O) (910) 791-6760 (F)
 NC License #: C-2846

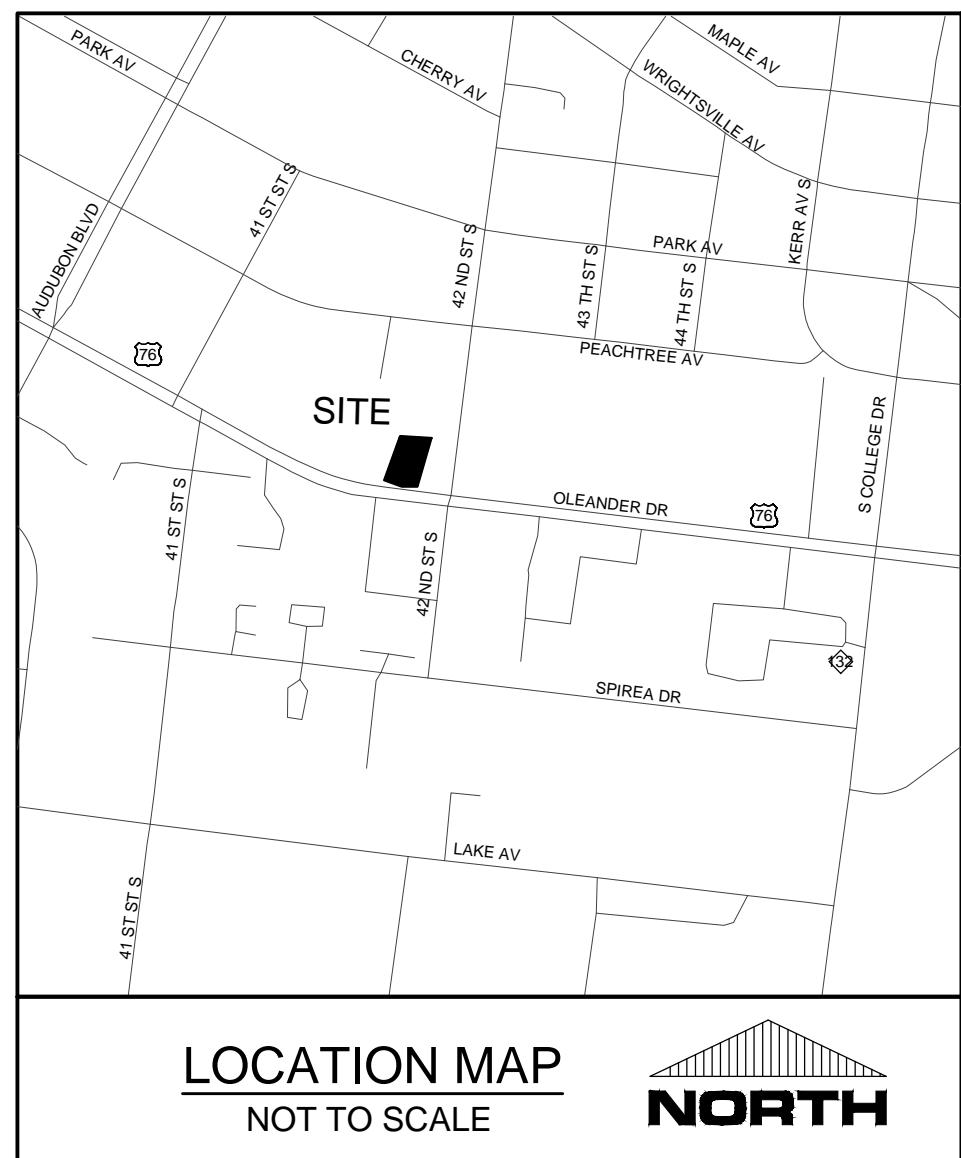
SITE & UTILITY PLAN
 4121 OLEANDER DRIVE
 CITY OF WILMINGTON
 NEW HANOVER COUNTY, NC

PROJECT STATUS:
 CONCEPTUAL LAYOUT:
 PRELIMINARY LAYOUT:
 RELEASED FOR CONST.

DRAWING INFORMATION:
 DATE: 3/16/18
 DESIGNED: JAMES BRANCKEN
 DRAWN: JAMES BRANCKEN
 CHECKED: JAMES BRANCKEN

SEAL:
 NORTH CAROLINA PROFESSIONAL ENGINEER
 JAMES BRANCKEN
 034354
 10/27/14

C-2.1
 PEI JOB#: 15332.PE



- LEGEND:**
- OHE — OVERHEAD ELECTRIC
 - BURIED TELEPHONE LINE
 - BURIED GAS LINE
 - BURIED TV CABLE
 - BURIED FIBER OPTIC
 - W — WATER LINE
 - SS — SANITARY SEWER LINE
 - STORM DRAINAGE LINE
 - FENCE (TYPE AS SPECIFIED)
 - EXISTING CONTOUR
 - RIGHT OF WAY/BOUNDARY
 - BOUNDARY LINE
 - PROPOSED SETBACKS
 - PROPOSED BUFFERS/EASEMENTS
 - DRAINAGE FLOW ARROWS
 - PROPOSED BUILDING
 - CONCRETE PAVEMENT
 - SIDEWALK
 - ASPHALT PAVEMENT
 - SPOT ELEVATION

- SPOT GRADE LEGEND:**
- TC = TOP OF CURB ELEVATION
 - GC = GUTTER CURB (FLOW LINE) ELEVATION
 - PG = PROPOSED GRADE (GROUND)
 - PV = PROPOSED PAVEMENT
 - EP = EDGE OF PAVEMENT
 - EC = EDGE OF CONCRETE
 - HP = HIGH POINT ELEVATION
 - LP = LOW POINT ELEVATION
 - TW = TOP OF WALK (SIDEWALK) ELEVATION
 - CL = CENTERLINE
 - INV = INVERT
 - TWL = TOP OF WALL ELEVATION
 - BWL = BOTTOM OF WALL ELEVATION
 - (EG) = EXISTING GRADE
 - (XX) = EXISTING ELEVATIONS, TYP.

EROSION CONTROL AND GRADING NOTES:

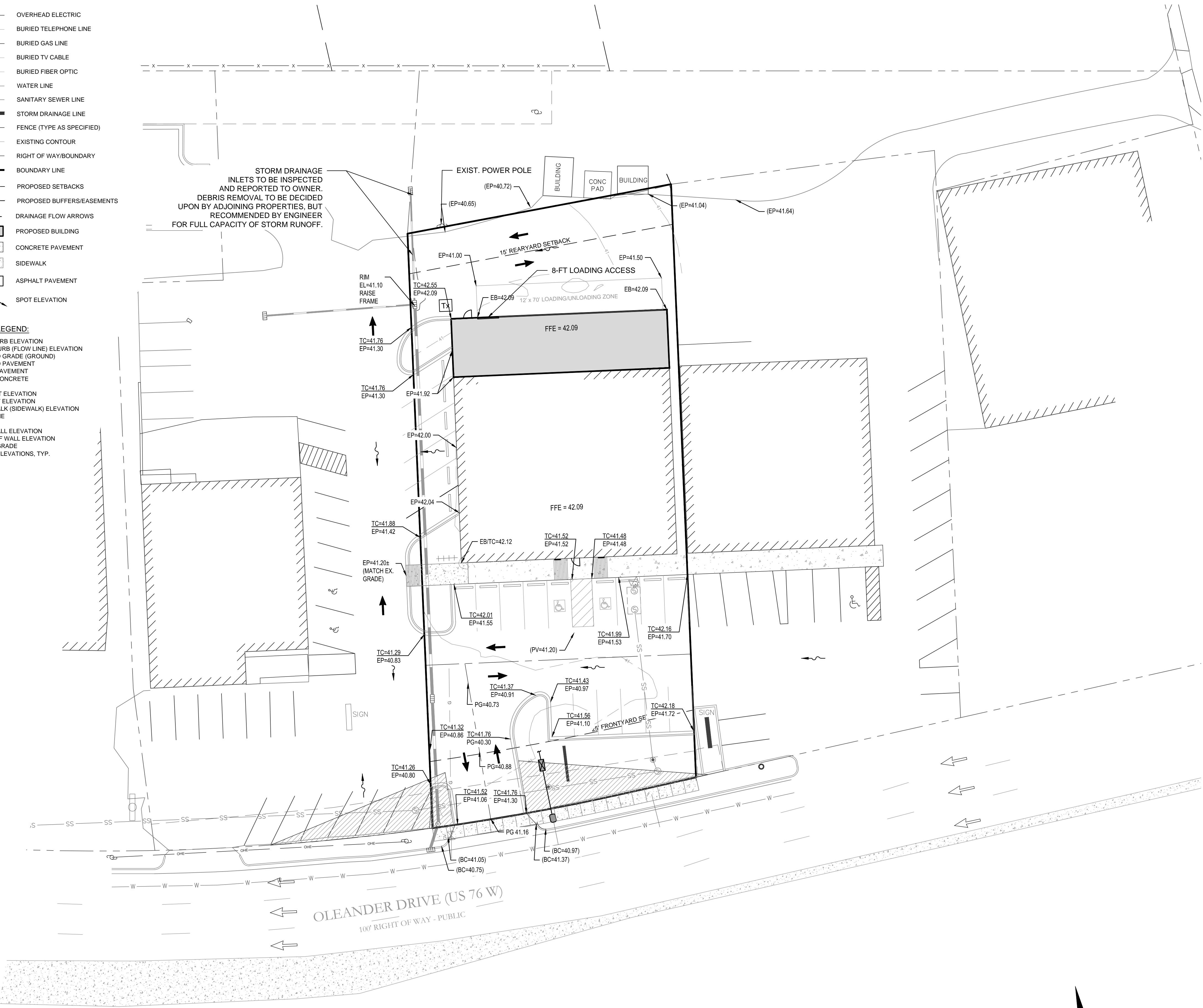
- THERE IS NO EROSION CONTROL PERMIT NECESSARY SINCE LAND DISTURBANCE IS LESS THAN 1.0 ACRE. HOWEVER, FOLLOW GUIDELINES AND GENERAL NOTES SHEET FOR GRADING, DRAINAGE, AND EROSION CONTROL.
- CONTRACTOR SHALL COORDINATE WITH OWNER OR OWNER'S REPRESENTATIVE REGARDING THE SITE'S EXISTING GRADE AFTER DEMOLITION OF THE REAR STRUCTURES.

ASPHALT, CONCRETE, AND BUILDING PAD NOTES:

- SITE CONTRACTOR SHALL STRIP TOPSOIL AND ANY UNSUITABLE MATERIAL AND PROVIDE CUTFILL OPERATIONS TO PROVIDE A COMPACTED CONTROLLED SUBGRADE IN PAVEMENT AND STRUCTURAL AREAS, IN ACCORDANCE WITH A GEOTECHNICAL REPORT FROM OWNER.

STORMWATER NOTE:

- THIS PROJECT DOES NOT REQUIRE A STATE STORMWATER PERMIT OR A STORMWATER MANAGEMENT PERMIT WITH THE CITY OF WILMINGTON. A DRAINAGE PLAN WILL BE APPROVED BY THE CITY AND PROPOSED IMPERVIOUS AREAS ARE TO BE LESS THAN EXISTING IMPERVIOUS ON THE PROPERTY. REFERENCE EXISTING STORM DRAINAGE.



For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

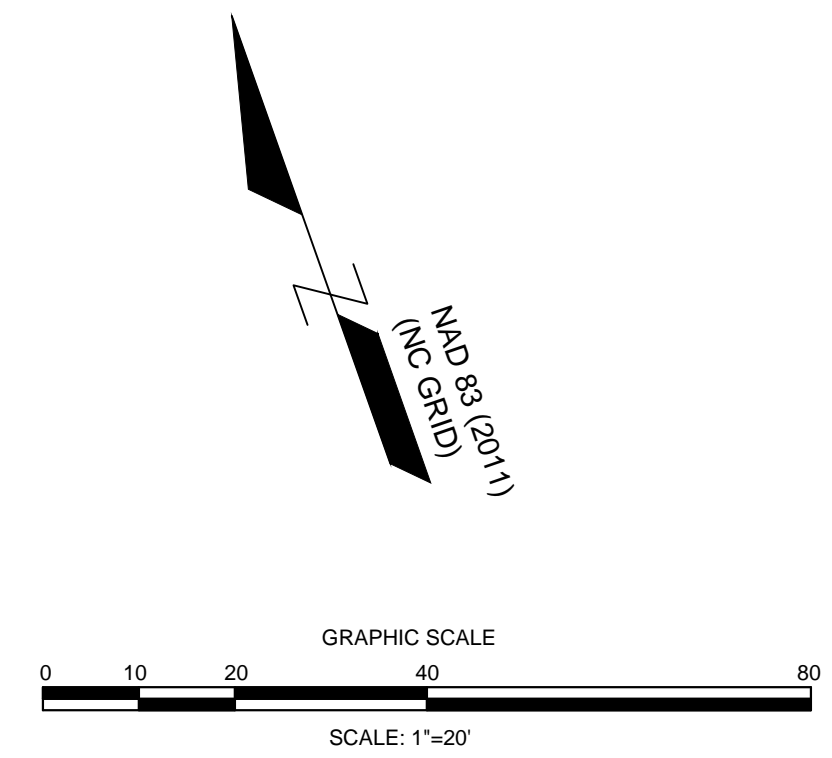
CITY OF WILMINGTON
NORTH CAROLINA
Public Services • Engineering Division
APPROVED DRAINAGE PLAN

Date: _____ Permit # _____
Signed: _____

Approved Construction Plan

Name _____ Date _____

Planning _____
Traffic _____
Fire _____



FINAL DESIGN - NOT RELEASED FOR CONSTRUCTION

CLIENT INFORMATION:
PARAMOUNT ENGINEERING
122 Cinema Drive
Wilmington, North Carolina 28403
(910) 791-0707 (O) (910) 791-6760 (F)
NC License #: C-2846

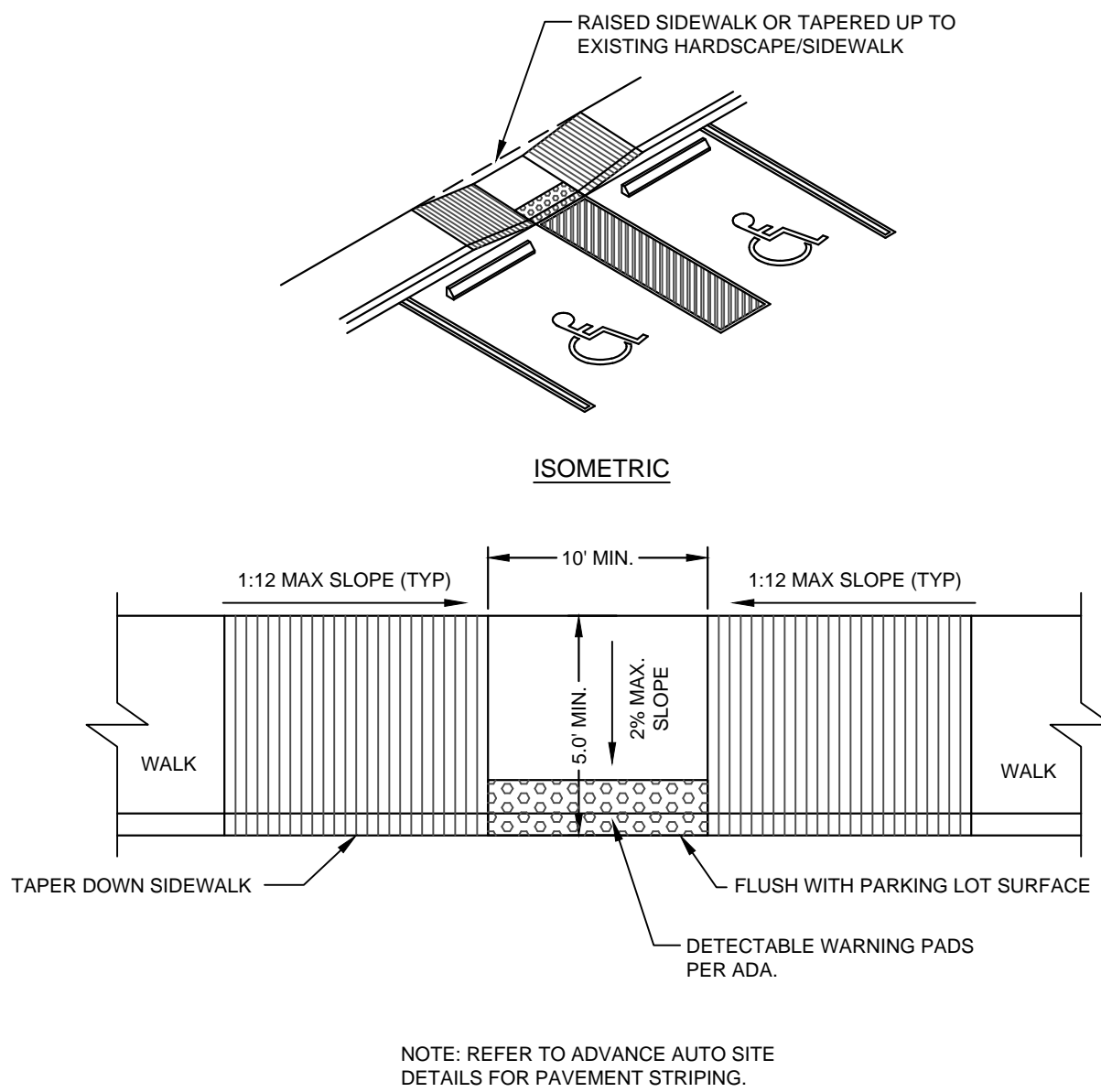
GRADING AND DRAINAGE PLAN
4121 OLEANDER DRIVE
CITY OF WILMINGTON
NEW HANOVER COUNTY, NC

PROJECT STATUS:
CONCEPTUAL LAYOUT:
PRELIMINARY LAYOUT:
RELEASED FOR CONST.

DRAWING INFORMATION:
DATE: 3/6/16
DESIGNED: RFB
DRAWN: CLM
CHECKED: RFB

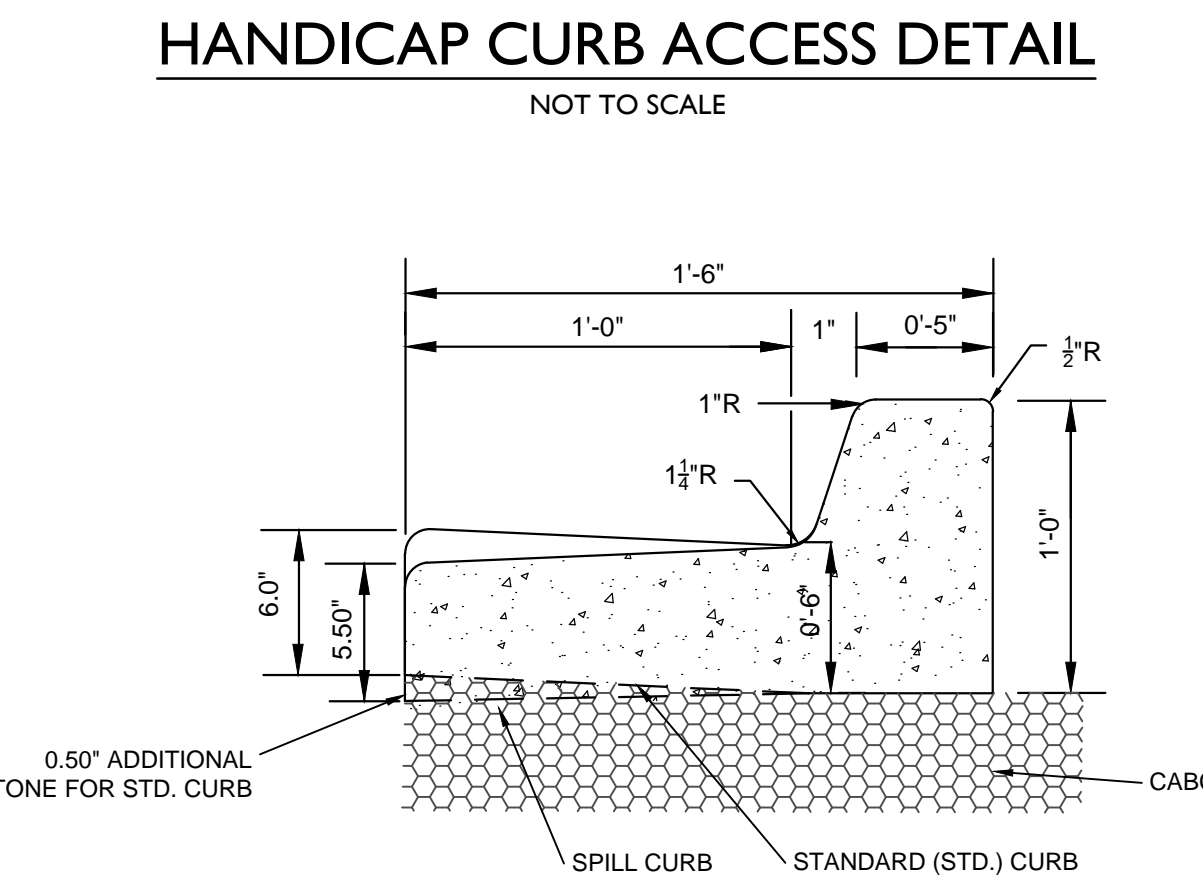
SEAL:
NORTH CAROLINA
PROFESSIONAL
ENGINEER
JAMES BRANER SMITH
034354
10/27/15

C-3.0
PEI JOB#: 15332.PE



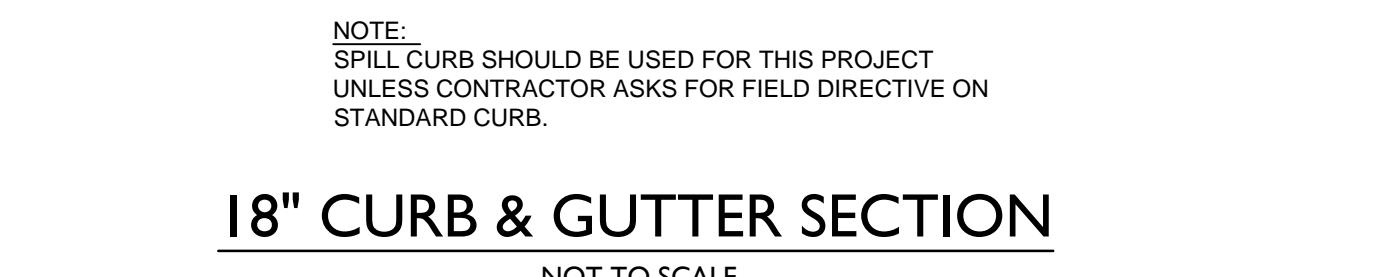
NOTES:
 1. REBAR SPACING AND HOLE SIZES SHALL BE COORDINATED WITH WHEEL STOP MANUFACTURER.
 2. REFER TO ADVANCE AUTO STANDARDS AND SPECIFICATIONS.

CONCRETE WHEEL STOP DETAIL
 NOT TO SCALE



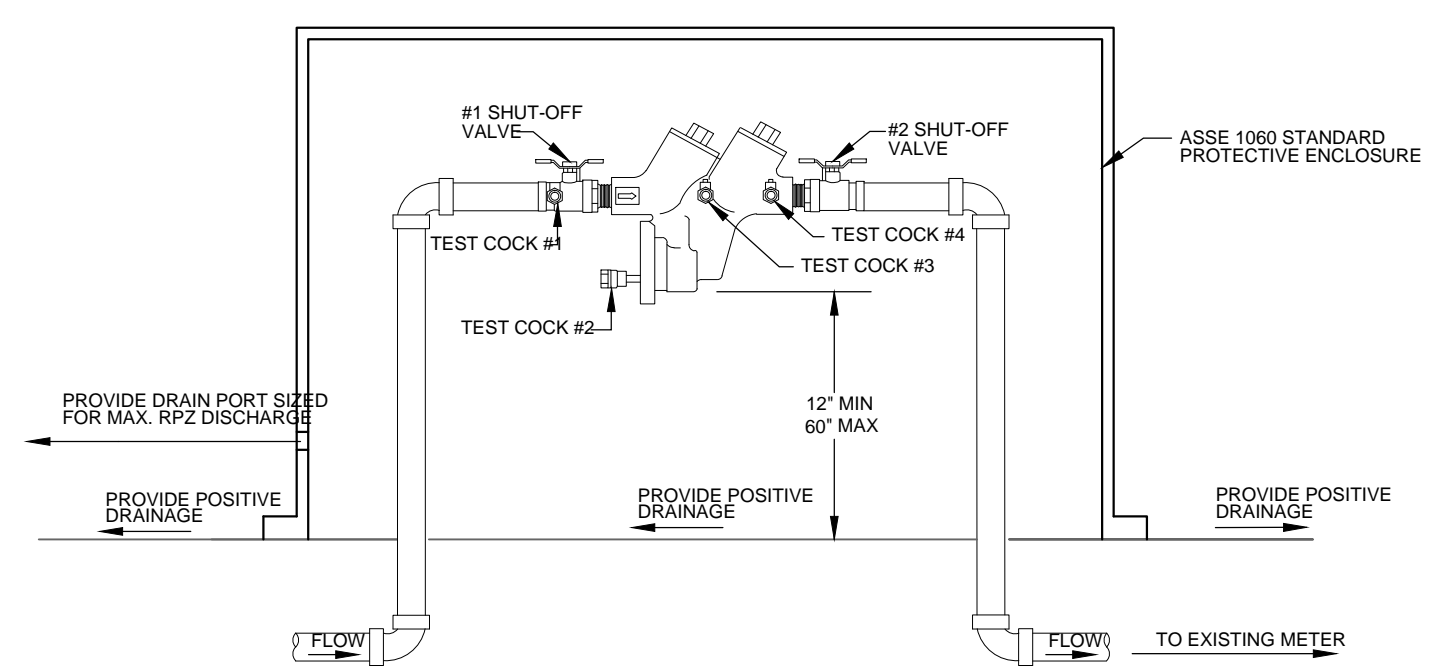
NOTE: REFER TO ADVANCE AUTO SITE DETAILS FOR PAVEMENT STRIPING.

HANDICAP CURB ACCESS DETAIL
 NOT TO SCALE



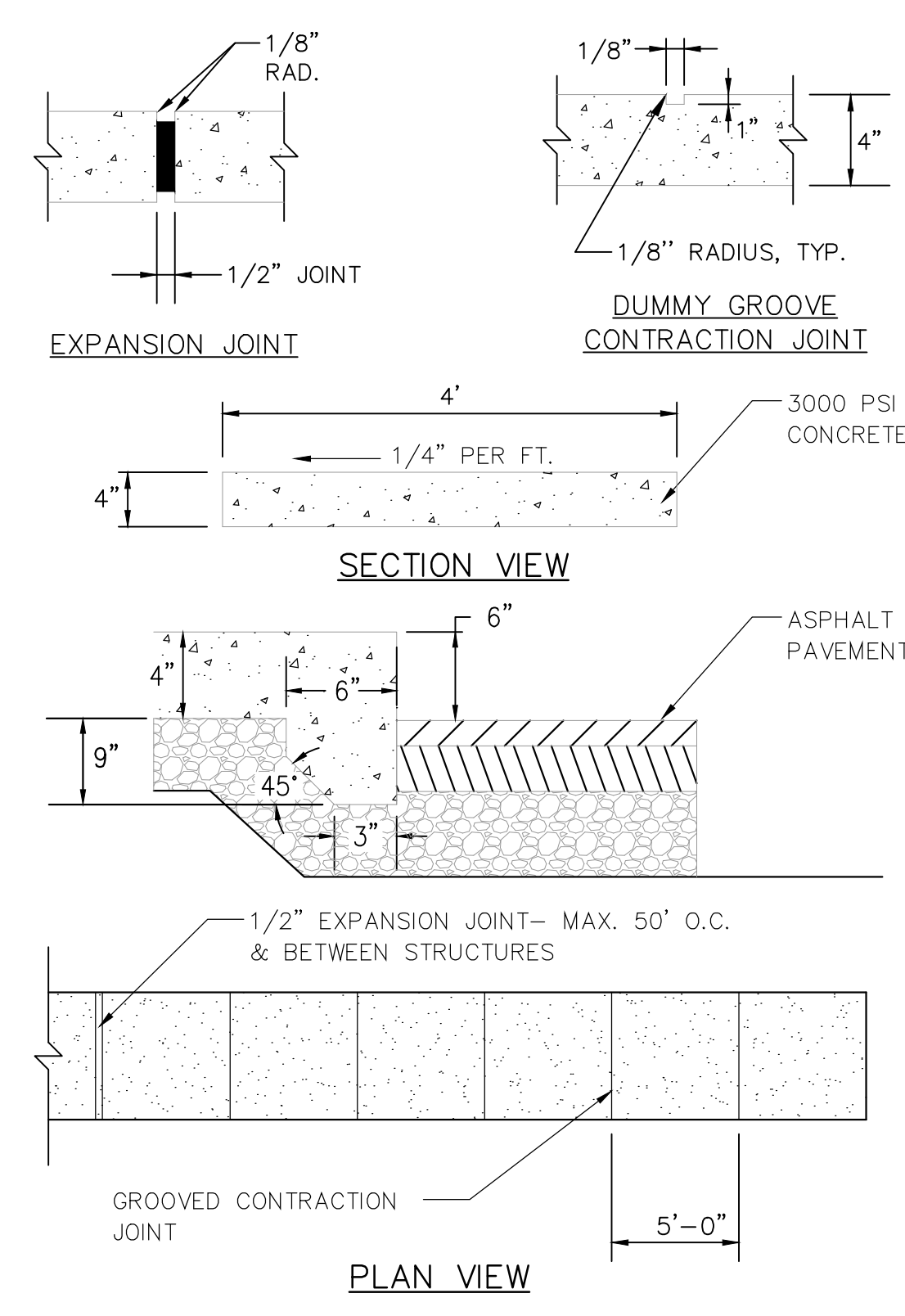
NOTE: SPILL CURB SHOULD BE USED FOR THIS PROJECT UNLESS CONTRACTOR ASKS FOR FIELD DIRECTIVE ON STANDARD CURB.

18" CURB & GUTTER SECTION
 NOT TO SCALE



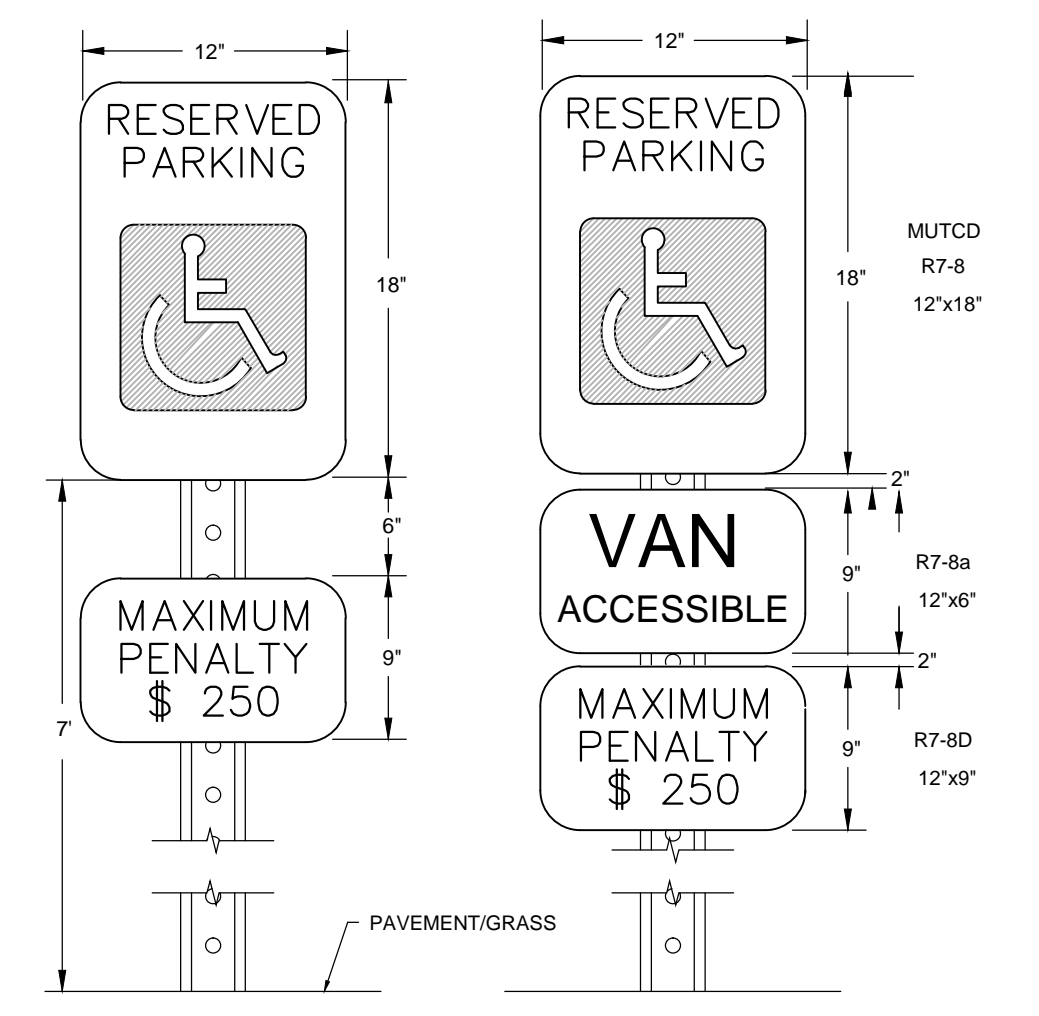
BACKFLOW DEVICE NOTES:
 1. THE BACKFLOW PREVENTION DEVICE MUST BE INSTALLED IN AN ACCESSIBLE LOCATION TO FACILITATE PERIODIC FIELD TESTING AND MAINTENANCE.
 2. THE LOCATION SELECTED SHOULD HAVE ADEQUATE DRAINAGE FOR RELIEF VALVE DISCHARGE. THE DEVICE SHALL NOT BE PLACED WHERE IT MAY BECOME SUBMERGED IN STANDING WATER.
 3. INSTALL THE DEVICE IN A HORIZONTAL POSITION WITH ADEQUATE CLEARANCE FROM WALLS AND/OR OBSTRUCTIONS. FOR TESTING AND MAINTENANCE, A 12" TO 30" CLEARANCE BETWEEN THE LOWER MOST PORTION OF THE DEVICE AND FLOOD GRADE OR FLOOR SHALL BE PROVIDED.
 4. NO UNDERGROUND INSTALLATIONS ALLOWED.
 5. REFERENCE CPPIA UTILITY STANDARDS AND SPECIFICATIONS FOR OTHER REQUIREMENTS.

OUTDOOR HORIZONTAL INSTALLATION - REDUCED PRESSURE PRINCIPLE ASSEMBLY
 NOT TO SCALE



NOTES:
 1. REFER TO ADVANCE AUTO STANDARDS AND SPECIFICATIONS FOR ADDITIONAL REINFORCEMENT REQUIREMENTS.

SIDEWALK AND TURN-DOWN WALK DETAILS
 NOT TO SCALE



NOTES:
 1. METAL POST AND ALL HARDWARE SHALL BE GALVANIZED STEEL, ASTM A307-90.
 2. POST HOLES SHALL BE FILLED WITH GRANULAR BACKFILL IN 3-INCH TO 4-INCH LIFTS. THOROUGHLY HAND TAMP EACH LIFT AND CROWN BACKFILL AT TOP TO SHED WATER.
 3. CONCRETE FOR FOOTING SHALL BE PORTLAND CEMENT AND HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI.
 4. SIGNS SHALL BE CONSTRUCTED OF ALUMINUM, TYPE 6061-T6 AND IN CONFORMANCE WITH ASTM STD B-209. THICKNESS SHALL BE 0.80 INCHES.
 5. TOP EDGE TREATMENT FILM SHALL BE 3" WIDE, CLEAR AND TRANSPARENT WITH A SUB-RESISTANT PRESSURE SENSITIVE NON-YELLOWING ADHESIVE, "SKOTCHCAL" TRANSPARENT FILE #639.
 6. REFLECTIVE FACING MATERIAL SHALL BE SCOTCHLITE HIGH INTENSITY, MANUFACTURED BY 3M COMPANY.
 7. SIGN LETTERING SHALL BE NPS MODIFIED CLARENDON TYPEFACE. UPPERCASE LETTERS SHALL BE 3.75" HEIGHT AND LOWERCASE LETTERS SHALL BE 2.5" HEIGHT WITH 3.75" SPACING BETWEEN LINES.
 8. CORNER RADIUS OF SIGNS SHALL BE 2.5". ARROWS SHALL BE 5.625" LONG BY 3.75" HIGH.
 9. MOUNT ON BUILDING OR METAL POST AS DIRECTED.

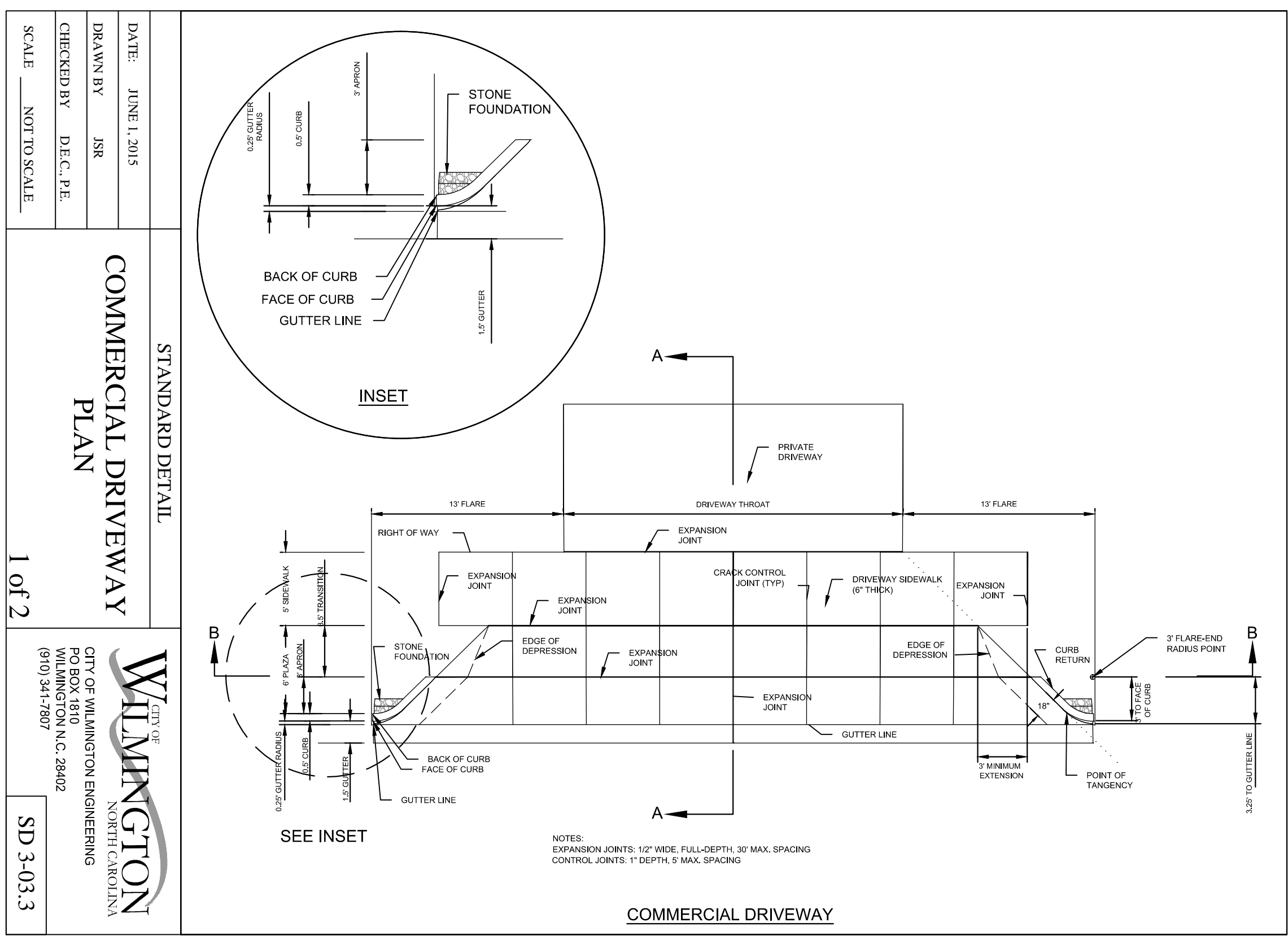
HANDICAP SIGNAGE
 NOT TO SCALE

WILMINGTON
 NORTH CAROLINA
 Public Services • Engineering Division
APPROVED DRAINAGE PLAN
 Date: _____ Permit # _____
 Signed: _____

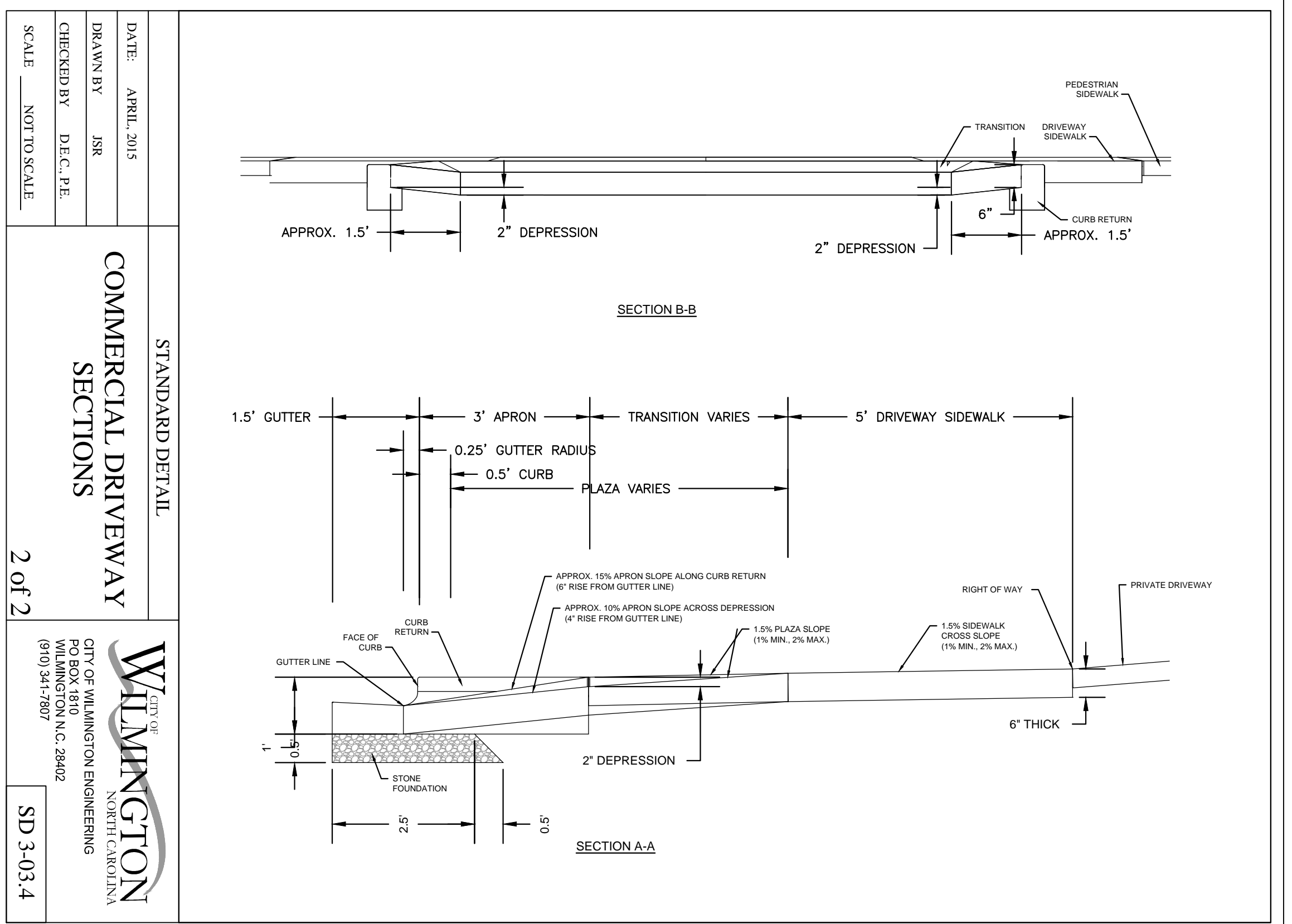
Approved Construction Plan

Name	Date
Planning _____	_____
Traffic _____	_____
Fire _____	_____

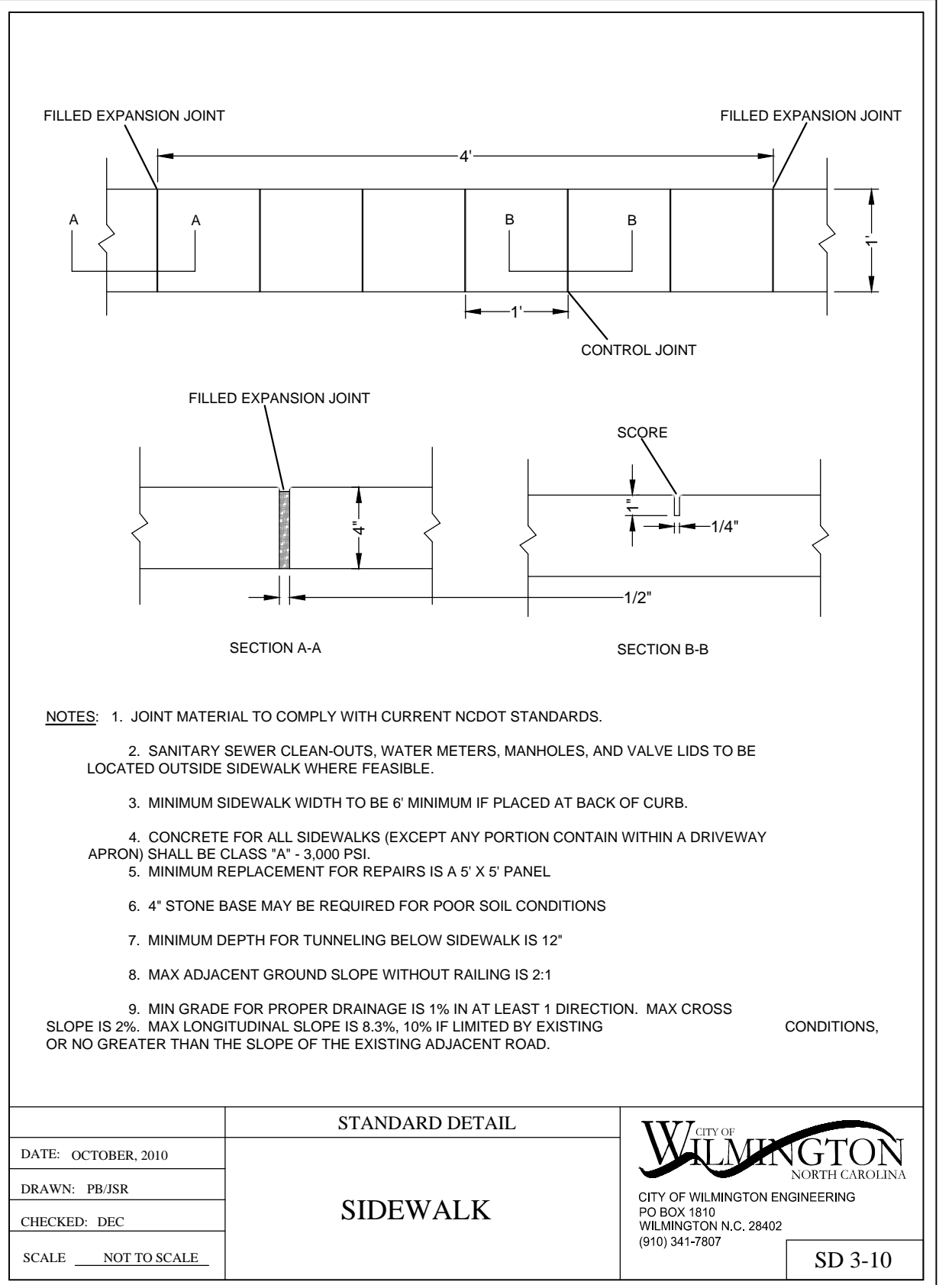
For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.



COMMERCIAL DRIVEWAY PLAN
 DATE: JUNE 1, 2015
 DRAWN BY: JSR
 CHECKED BY: D.E.C., P.E.
 SCALE: NOT TO SCALE
 SD 3-03.3



COMMERCIAL DRIVEWAY SECTIONS
 DATE: APRIL 2015
 DRAWN BY: JSR
 CHECKED BY: D.E.C., P.E.
 SCALE: NOT TO SCALE
 SD 3-03.4



COMMERCIAL DRIVEWAY PLAN
 DATE: OCTOBER 2010
 DRAWN: PRJSR
 CHECKED: DEC
 SCALE: NOT TO SCALE
 SD 3-10

FINAL DESIGN - NOT RELEASED FOR CONSTRUCTION

PARAMOUNT ENGINEERING
 122 Cinema Drive
 Wilmington, North Carolina 28403
 (910) 791-0707 (O) (910) 791-6760 (F)
 NC License #: C-2846

4121 OLEANDER DRIVE, LLC
 1131-B MILITARY CUTOFF ROAD
 WILMINGTON, NC 28405

DETAILS
 4121 OLEANDER DRIVE
 CITY OF WILMINGTON
 NEW HANOVER COUNTY, NC

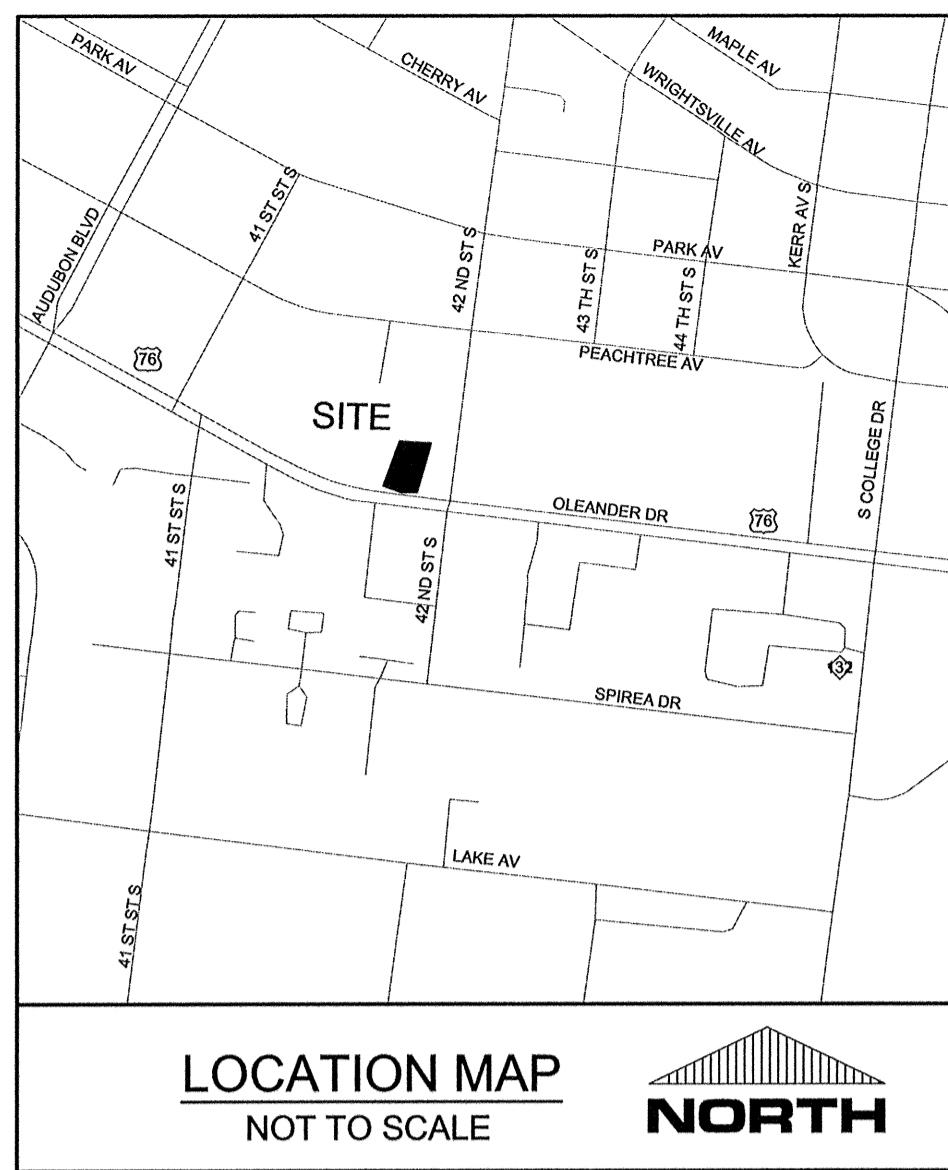
PROJECT STATUS:
 CONCEPTUAL LAYOUT:
 PRELIMINARY LAYOUT:
 RELEASED FOR CONSTRUCTION

DRAWING INFORMATION:
 DATE: 3/10/16
 DESIGNED: RFB
 DRAWN: CLM
 CHECKED: RFB

SEAL:
 NORTH CAROLINA PROFESSIONAL ENGINEER
 034354
 10/17/15
 ENGINEER
 UNLESS OTHERWISE SPECIFIED

C-4.0

PEI JOB#: 15332.PE



LEGEND:

— OHE —	OVERHEAD ELECTRIC
— UST —	BURIED TELEPHONE LINE
— G —	BURIED GAS LINE
— LTV —	BURIED TV CABLE
— FO —	BURIED FIBER OPTIC
— W — W — W —	WATER LINE
— SS — SS —	SANITARY SEWER LINE
— S — S —	STORM DRAINAGE LINE
— X — X —	FENCE (TYPE AS SPECIFIED)
— 10 —	EXISTING CONTOUR
— — —	RIGHT OF WAY/BOUNDARY
— — —	BOUNDARY LINE
— — —	PROPOSED SETBACKS
— — —	PROPOSED BUFFERS/EASEMENTS
— — —	DRAINAGE FLOW ARROWS
[Pattern]	PROPOSED BUILDING
[Pattern]	CONCRETE PAVEMENT
[Pattern]	SIDEWALK
[Pattern]	ASPHALT PAVEMENT

SITE DATA
 PROJECT NAME: ADVANCE AUTO PARTS #5349
 SITE ADDRESS: 4121 OLEANDER DRIVE, WILMINGTON, NC 28403
 NHC PIN: R06106-001-001-003
 PROPERTY OWNER: 4121 OLEANDER DRIVE, LLC
 SOURCE DEED: DEED BOOK 6932, PAGE 1967
 AREA: 22,509± SF OR 0.52± ACRES
 ZONING: RB (REGIONAL BUSINESS) (COW PRIORITY REDEV.)
 PROPOSED USE: RETAIL (AUTO PARTS SALES)
 CAMA LAND USE: URBAN
 EXISTING EASEMENTS: SEE PLAN

DIMENSION REQUIREMENTS

SETBACKS:	REQUIRED	PROVIDED
FRONT	25'	83.7' (EX.)
SIDE	0'	15.1' L / 3.5' R
REAR	15'	34.6'
MAXIMUM HEIGHT	35'	16'-2"

BUILDING INFORMATION
 EXISTING BUILDING: 6,827 SF (5,711 SF TO REMAIN)
 EXISTING BUILDING LOT COVERAGE: 30.3%
 PROPOSED EXPANSION: 1,793 SF (26.3% INCREASE)
 TOTAL BUILDING AREA PROPOSED: 7,504 SF
 PROPOSED BUILDING LOT COVERAGE: 33.3%
 CONSTRUCTION TYPE: TYPE II MIN. BLOCK WALLS

PARKING INFORMATION
 PARKING REQUIREMENTS (RETAIL):
 MINIMUM REQUIRED: 1 SPACE PER 400 SF = 18.8
 MAXIMUM ALLOWED: 1 SPACE PER 200 SF = 37.5
 PROVIDED: 22 SPACES
 HC ACCESSIBLE SPACES REQUIRED: 1 SPACES
 HC SPACES PROVIDED: 2 SPACES

IMPERVIOUS CALCULATIONS

EXISTING BUILDING	6,827 SF
EXISTING PAVEMENT	13,956 SF
EXISTING CONCRETE	2,088 SF
EXISTING TOTAL	22,871 SF
PROPOSED BUILDING EXP.	1,793 SF
IMPERVIOUS TO BE REMOVED	-4,729 SF
PROPOSED TOTAL IMPERVIOUS	19,935 SF
NET DECREASE	-2,936 SF

LANDSCAPE CALCULATIONS

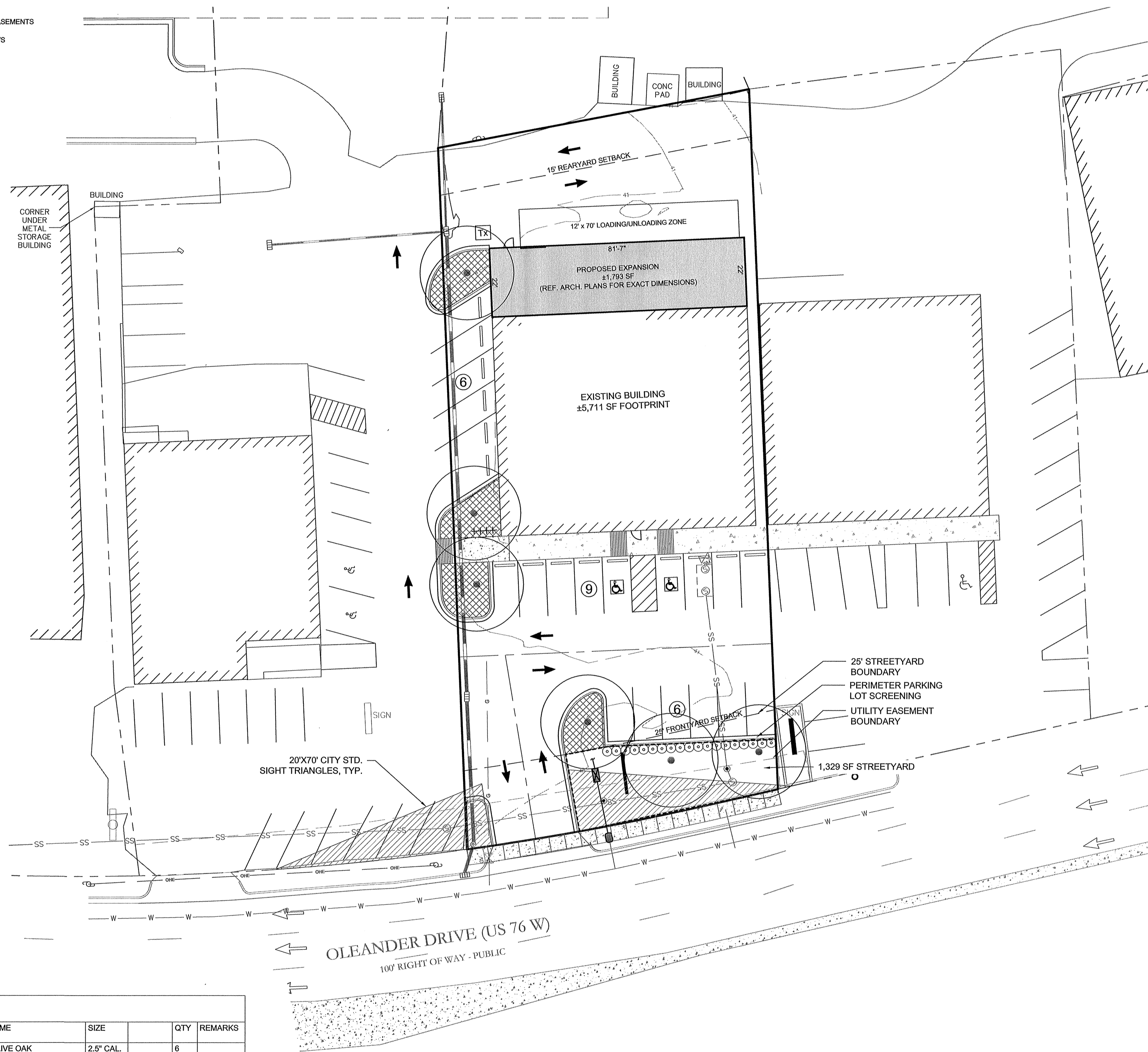
STREET YARD REQUIRED [(LENGTH OF PROPERTY FRONTAGE - DRIVEWAY) X 25] x 1/2 [(101 LF - 36 LF)] x 25 x 1/2 = 813 SF	813 SF
STREET YARD PROVIDED	1,329 SF
STREET YARD TREES REQUIRED (0.5 / 600 SF)	2
STREET YARD TREES PROVIDED	2
STREET YARD SHRUBS REQUIRED (3 / 600 SF)	6
STREET YARD SHRUBS PROVIDED	19

INTERIOR LANDSCAPING REQUIRED
 (6% OF VEHICULAR USE AREA)
 12,431 SF x 0.06 = 746 SF

INTERIOR LANDSCAPING PROVIDED
 (4 TREES @ 707 SF = 2,828)

PLANT SCHEDULE

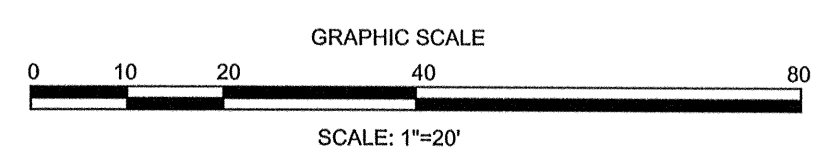
TREES	CODE	COMMON NAME	SIZE	QTY	REMARKS	
[Symbol]	LO	SOUTHERN LIVE OAK Quercus virginiana	2.5" CAL.	6		
SHRUBS	CODE	COMMON NAME	CONT	QTY	REMARKS	
[Symbol]	DYH	DWARF YAUPON (5' X 5') Ilex vomitoria 'Nana'	3 GAL	19		
GROUND COVERS	CODE	COMMON NAME	CONT	SPACING	QTY	REMARKS
[Symbol]	AJ	ASIATIC JASMINE Trachelospermum asiaticum 'Asiatic'	1 GAL	18" o.c.	438	



For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

CITY OF WILMINGTON
 NORTH CAROLINA
 Public Services • Engineering Division
 APPROVED DRAINAGE PLAN
 Date: _____ Permit # _____
 Signed: _____

Approved Construction Plan
 Name _____ Date _____
 Planning _____
 Traffic _____
 Fire _____



REVISIONS:

NO. 1	DATE: 08/18/16	DESCRIPTION:
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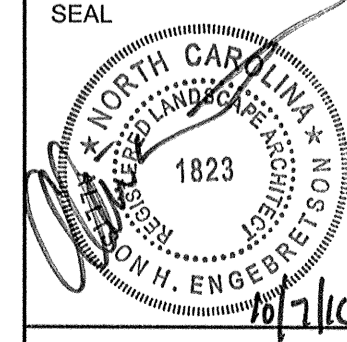
CLIENT INFORMATION:
 4121 OLEANDER DRIVE, LLC
 1131-B MILITARY CUTOFF ROAD
 WILMINGTON, NC 28405

PARAMOUNT ENGINEERING, INC.
 122 Cinema Drive
 Wilmington, North Carolina 28403
 (910) 791-6707 (O) (910) 791-6760 (F)
 NC License #: C-2846

LANDSCAPE PLAN
 4121 OLEANDER DRIVE
 CITY OF WILMINGTON
 NEW HANOVER COUNTY, NC

PROJECT STATUS:
 CONCEPTUAL LAYOUT: _____
 PRELIMINARY LAYOUT: _____
 RELEASED FOR CONST: _____

DRAWING INFORMATION:
 DATE: 8/18/16
 DESIGNED: _____
 DRAWN: _____
 CHECKED: _____



L-1.0
 PEI JOB#: 15332.PE

FINAL DESIGN - NOT RELEASED FOR CONSTRUCTION